

**The Historic Environment Consultancy**



## **HERITAGE STATEMENT**

For

Gilsons Engineering Works  
NEWTOWN ROAD  
NEWBURY, WEST BERKSHIRE

National Grid Reference: SU475645

Version 7

Dr Peter Wardle  
With Contributions by Colin Lacey  
Feb 2012  
Document Reference Number 2011/1067

# 1. Preface

*This is a fully revised document superseding the following documents previously issued:*

18/12/06	Historic Environment Assessment and Conservation of Building Research Analysis of the development known as: Sandlesford Farm, West Berkshire
5/4/07	Sandlesford Farm: Addenda to Conservation Statement – The Extent of the Historic Park
27/5/09	A Conservation Of Buildings Research Analysis of the development known as Sandlesford Farm, West Berkshire
5/7/10	Appendix: The Ice House, Sandlesford Farm, Newbury, Berkshire
15/12/10	Conservation Statement Sandlesford Farm, Newbury, Berkshire

Revision of this document has been necessary for the following reasons:

1. PPS 5 The Historic Environment and Planning was issued in March 2009.
2. English Heritage have issued documents stating how the setting of Heritage Assets should be considered.
3. Comments made by third parties.
4. Changes in the proposals.
5. Discrepancies have arisen in the mapping of what is designated as a Historic Park.
6. The buildings being considered for Listing by English Heritage.
7. The fact that West Berkshire Council suggested in October 2011 that the buildings were within the curtilage of the listed Sandlesford Farm House.
8. Information supplied by Mr Hale about the subterranean structure.

This revision includes a review of the dating evidence of the buildings

**HERITAGE STATEMENT**  
**for**  
**Sandleford Farm, Newbury, West Berkshire,**  
**National Grid reference: SU475645**  
**by**  
**Dr Peter Wardle BA MSc PhD**  
**With Contributions by Colin Lacey**  
**15/2/2012**

Site Address	Sandleford Farm, Newtown Road (A339) Newtown, Newbury
Site Post Code	RG20 9BB
County	West Berkshire
Grid Reference	SU 475646
Geology	Bagshot Sand over London Clay
Historic Environment Designations	Grade II Historic Park

## 2. SUMMARY

This report discusses a historic landscape incorporating a range of agricultural buildings located in the historic, Capability Brown designed, Sandleford Park. The park contains Sandleford Priory, now used as a school.

The agricultural buildings are late Victorian and twentieth century agricultural buildings which have been converted to industrial use, alongside which modern industrial buildings have been constructed. As such, all of the buildings have been highly altered and as such are not listable in their own right and have little individual historic interest. This has been reiterated by English Heritage when a 2007 application for listing was turned down.

The historic interest of the group of buildings is further reduced by the fact that most of the agricultural buildings which constituted the farmyard have already been demolished. Further to this, there can be no objection to the demolition of units 3 and 5 as they are relatively recent buildings.

In terms of the associations with the historic park, the buildings were constructed about a hundred or more years after the 1781 completion of Capability Brown's designs for the park. These buildings, while located within the historic park, are temporally not actually a part of the park design. The fact that the farmyard has been relocated twice since the Brown landscaping further emphasises this.

As noted above, when the park was designated as a historic park the industrial area was excluded from the designated area, as is the norm, because:

- "Main buildings, including stables, lodges and follies as well as kitchen gardens, forming part of the original design are included but not normally churches or farms nor farm areas laid out purely for agriculture, silviculture or other economic purposes.
- Areas are then omitted which no longer include the essential character and fabric of the "designed landscape".

This part of the park had already been subject to the removal of many of its historic buildings and in particular the priory gatehouse has been demolished. In addition there has been much modern construction which devalues the historic interest of this area.

Virtually all of the historic planting has disappeared except for the occasional tree.

The setting of this historic park is already badly compromised – not least by the presence of the industrial units themselves. In any event, the housing estate and caravan park to the north and the new buildings surrounding the school to the south make a notable impact.

English Heritage describes the setting of this part of the park:

***“The setting is partly urban, with the southern extremity of Newbury close by to the north, and agricultural, with the former western parkland (Conveyance map, 1871) lying adjacent to the west of the A34.”***

Even to the south and considering the view of the priory itself, the setting is far from historic.

The proposed development is therefore at worst a neutral alteration to the setting of the park because one “urban” type of building is being replaced by a building which is more rural in character i.e. a traditional barn form and can be regarded as an enhancement. The removal of a modern utilitarian building and the yard where heavy machinery is parked is clearly an improvement to the setting of the park and the nearby listed buildings.

The current proposal includes planting of parkland specimens which again can be seen to be an enhancement of the park.

Analysis of the setting of the nearby Sandleford Farmhouse, which is listed at Grade 2, using the methodology suggested by English Heritage shows that the impact on the setting of this building is also an enhancement.

It has been suggested by the occupier of Sandleford Farmhouse that an “ice house” is present on the development area. This is discussed in detail. There is in fact no evidence that an ice house is present and much evidence that an Ice House is not present. A subterranean structure has been found although its function is unknown.

This structure will be unaffected by the development proposals but it is possible that the ground may have to be stabilised in this area. In this eventuality a programme of archaeological investigation and recording will be undertaken.

It is suggested that the development proposal is acceptable in terms of the historic environment.

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## **3. Introduction**

### **3.1 The Client**

This report was commissioned by Gary Gilbert of Gilson Engineering (Newbury) Ltd, for and on behalf of Gilson Engineering (Newbury) Ltd who are the landowners.

### **3.2 Confidentiality and Copyright**

This document is to remain confidential for a period of 12 months or until it forms part of a formal planning application or until otherwise indicated by The Client. The copyright of this report belongs to The Historic Environment Consultancy and The Client. No liability to third parties is accepted for advice and statements made in this report.

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### **3.3 Location**

Sandleford Farm lies c. 2.5km south of the centre of the town of Newbury, Berkshire, 1km north of the village of Newtown, on a hillside dividing the rivers Kennet, to the north, and Enborne to the south, the latter marking the boundary between Berkshire and Hampshire.

The farm is part of an 18<sup>th</sup> century landscaped park covering 55 hectares, currently bordered to the east by the remains of Greenham Common airfield, to the west by the A339 Newtown Road, and to the north by modern residential and retail development. There are several areas of ancient woodland close to the site. The general location is shown in Figure 1 and the specific location in Figure 2.

### **3.4 Topography**

The farm is located on a relatively flat portion of the largely undulating Sandleford Park. To the east and south, the land falls away toward a stream to the east and to the river Enborne to the south.

### **3.5 Site Visits**

The site was initially visited by Peter Wardle, Colin Lacey and Heather Papworth on 16<sup>th</sup> November 2006. Subsequent visits were made to investigate suggestions of an ice house being present and for other reasons.

### **3.6 Current and Recent Land Use**

The site is currently used as an industrial estate with a large engineering works occupying the majority of the site. Although a great deal of recent development has been undertaken in the site, original buildings remain, which are indicative of the site's previous existence as a farmyard serving the Sandleford estate.



Figure 1: General site location (1:10000 @ A4)

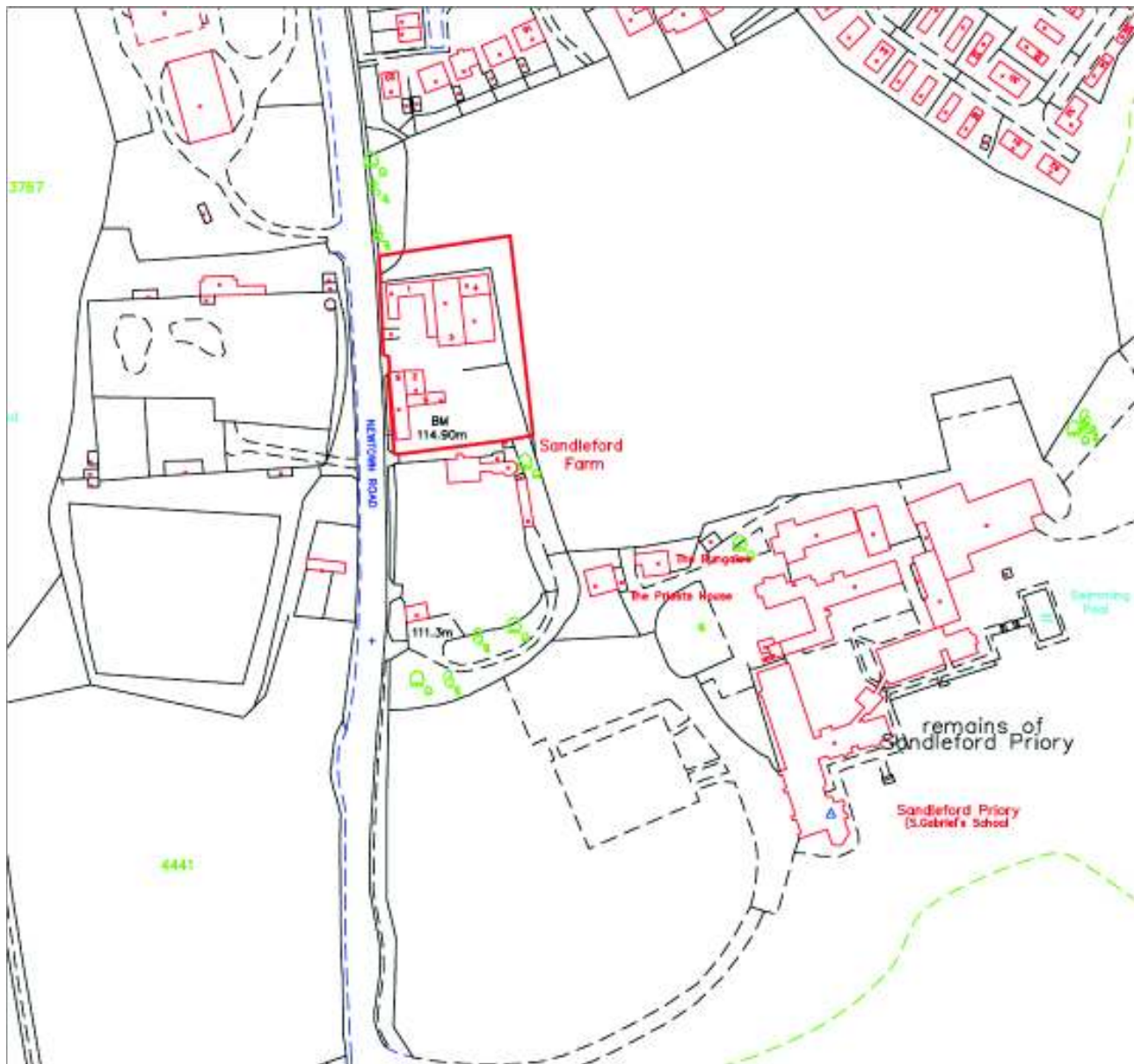


Figure 2: Detailed location plan (1:2500 @ A4)

## 4. Sandleford Park

Sandleford Park is designated on the Register of Historic Parks as a Grade II park.

### 4.1 The Register of Historic Parks

The Register of Historic Parks is a statutory designation of parks which are of historic interest and is thus to be contrasted with both listed buildings and scheduled ancient monuments which have a more formal status. Such parks are graded as follows:

Grade I	Exceptional interest
Grade II*	Great Interest
Grade II	Special Interest.

Of importance in this case is how such parks are designated:

- Where the original layout is still in evidence most parks and gardens laid out before 1820 (particularly prior to 1750) have been included.
- Selection of examples from 1820 onwards is more restricted and dependent upon their individual condition and aesthetic merit. Where a more detailed assessment is possible or required, particular attention is paid to the development of taste through reputation, or reference in literature, whether it is an example of a genre of layout, or the work of a designer, or historic events, or a person's reference to it in literature, or its value as part of an integral layout or town planning scheme.
- Main buildings, including stables, lodges and follies as well as kitchen gardens, forming part of the original design are included but not normally churches or farms nor farm areas laid out purely for agriculture, silviculture or other economic purposes.
- Areas are then omitted which no longer include the essential character and fabric of the "designed landscape".

(The Register of Parks and Gardens of Special Historic Interest in England: Notes on Compilation and Use.)

By definition, in historic park designation terms, as this area is a farmyard it does not form part of the park *per se* and/or its special character. Thus in this case the issue is - will the proposal have an adverse impact on the setting of the park?

### 4.2 The origins of Sandleford Park

The Sites and Monuments Record held in Newbury refers to the designed landscape of Sandleford as a:

*"mid to late 18<sup>th</sup> century landscape park, surrounding a country house".*

Sandleford Park, however, began far earlier as agricultural land belonging to the church of St John the Baptist at Sandleford from some time before 1160. Records from the 15<sup>th</sup> century mention enclosed gardens for provision of food for the estate. In 1730 when the Montagu family took on the lease of the priory the land became divided into recreational and productive areas.

To the east of the priory, the land running to the woodland of Greenham Common, punctuated by a stream feeding the river Enborne, became known as the 'pleasure grounds'. A degree of ornamental planting was carried out, and paths and tracks laid throughout, leading from the house to the woodland and throughout the 'pleasure grounds'. One such route was known as the 'wilderness walk'. This featured a serpentine path to the stream. Also present on the map is the original location of Sandleford Farm, lying closer to the priory than its current location, which is thought to be the rickyard, marked on the map adjacent to the north wall of the original yard. A bowling green was created immediately to the east of the house, utilising the 'L' shape of the building as shelter from the elements.

The modern A339 Newbury Road divides the park, running from Newtown in the south to Newbury in the north. This road follows the route of an earlier track between the settlements. In the medieval period, a four day fair was held on the 20<sup>th</sup> – 23<sup>rd</sup> September around the area of the park where the track passed through.

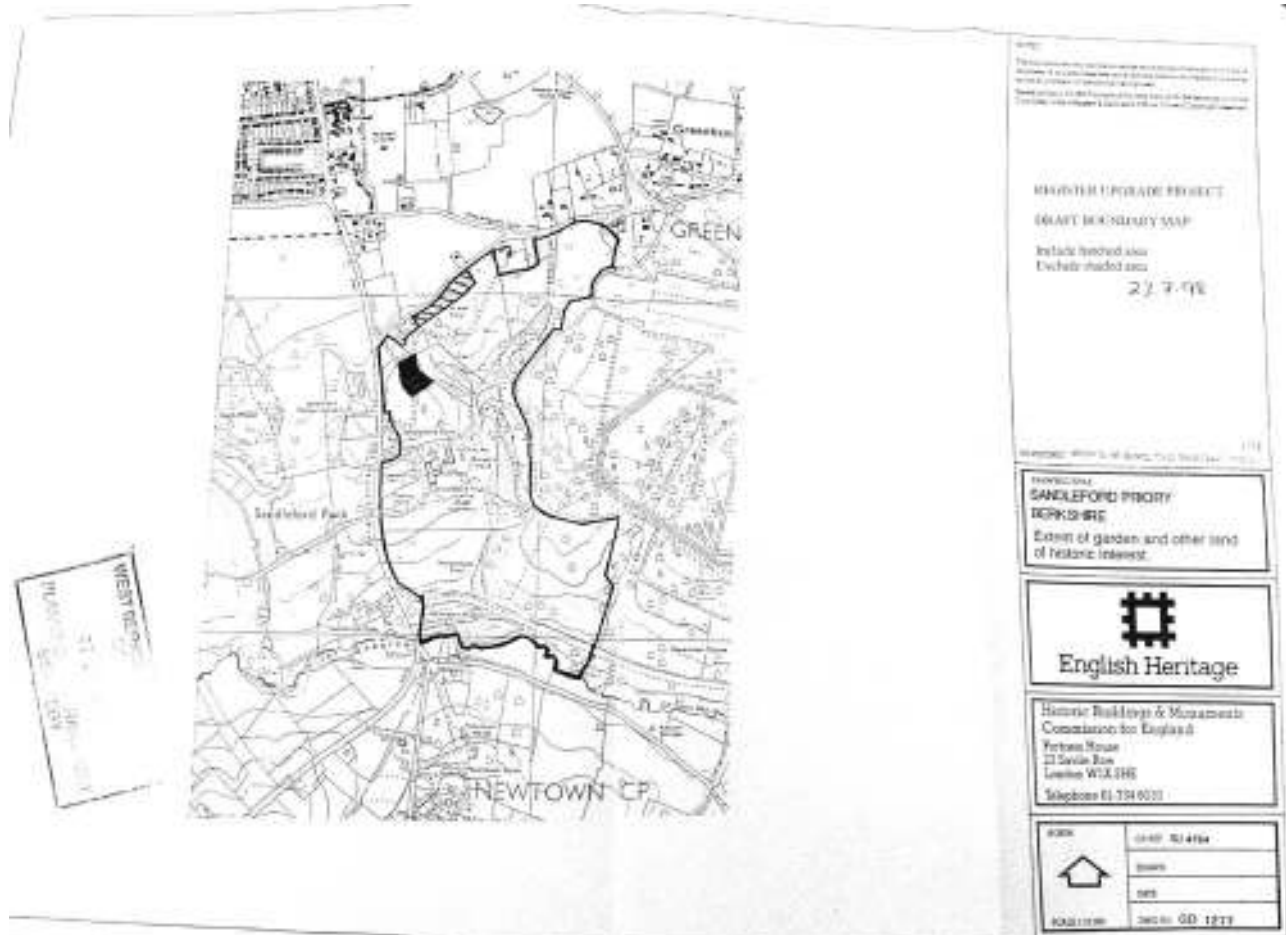
At the same point that Wyatt and Adam were redesigning the structure of the priory, Lancelot 'Capability' Brown was contracted to remodel the park and gardens. Brown completed his designs in 1781, and died in 1783, making this park one of the last landscapes he designed.

Although the park extended to the western side of the current A339 Newtown Road, the focus in the 18<sup>th</sup> century appeared to be on the eastern side, in the area bordering the modern Sandford Farm, around which examples of mature trees, including cedars and wellingtonias, of Brown's design can still be found. Areas of Brown's ornamental woodland can also be found around the ponds he created to the east of the park by damming the stream. The ponds include the autonomous 'Brown's Pond'. It is not known whether or not the pond was named posthumously.

On the opposite side of Newtown Road to the farm lies a walled kitchen garden. This once supplied the fruit and vegetables for the priory. When Chatteris took over the park in the 19<sup>th</sup> century, further ornamental planting was undertaken, including a large quantity of rhododendrons, many of which are still growing in the grounds of the school. Thus the modern park landscape comprises a mixture of Brown and Chatteris' work but the trees planted by Brown dominate the landscape.

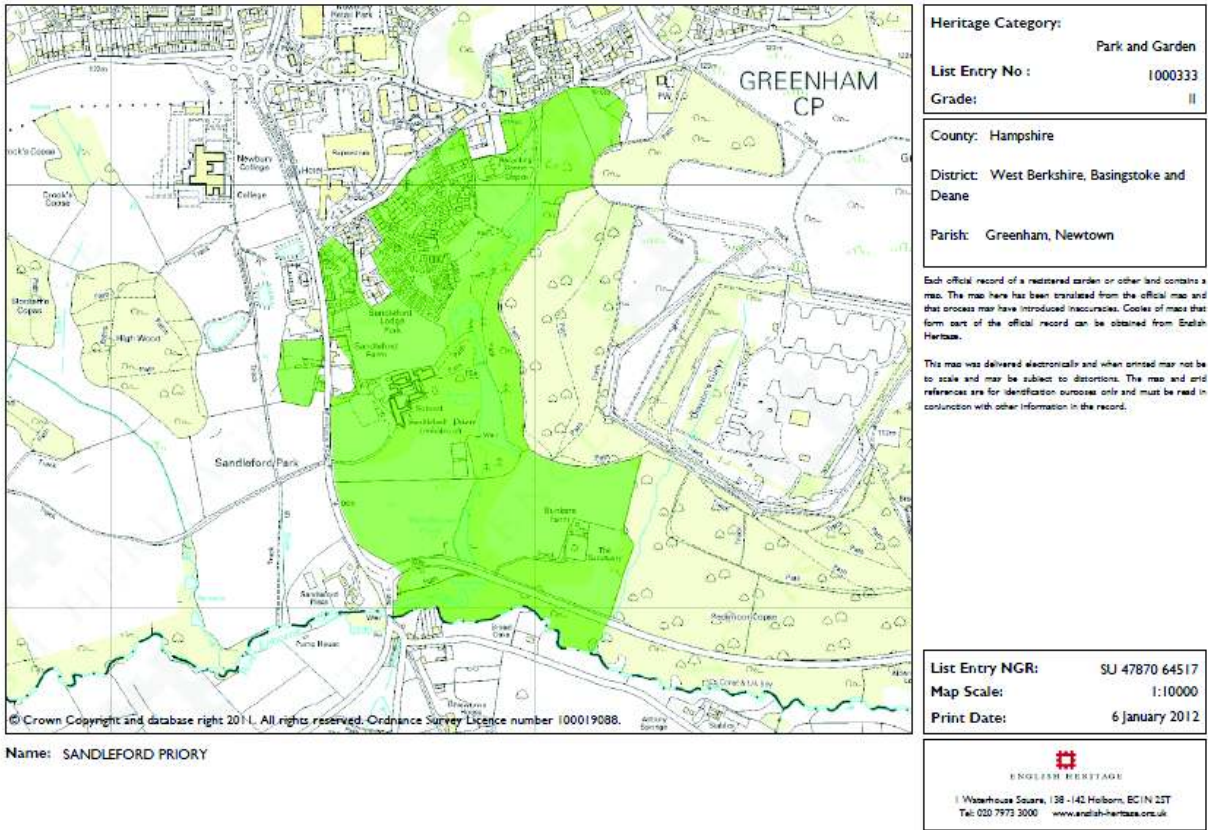
### 4.3 The Extent of Sandlesford Park

The Development Area at Sandlesford Farm has been considered by West Berkshire Council to be within the Historic Park. The implication of this is that different policy criteria will be used to judge the planning application for Sandlesford Farm. The extent of the Park at the time of designation is shown on the following paper plans held by West Berkshire District Council's Historic Environment Record.

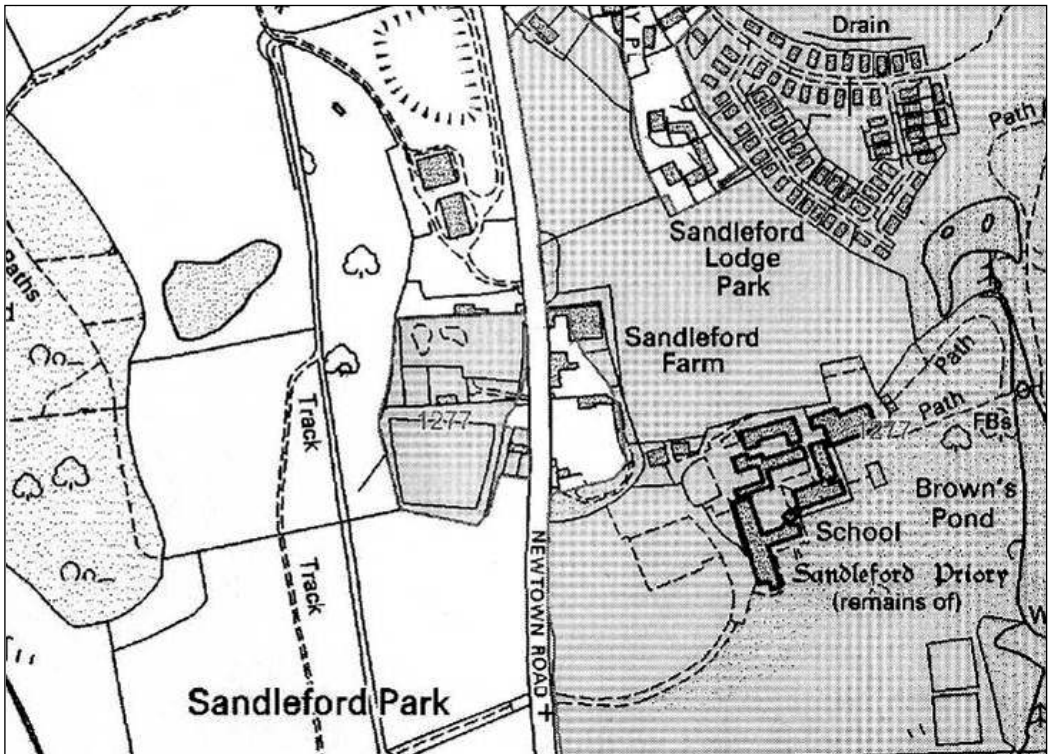


**Figure 3 The Original Extent of the Designated Park**

The current mapping of the extent of the Park as shown on the English Heritage Database "National Heritage List for England" differs from the above plan. (See <http://www.english-heritage.org.uk/professional/protection/process/national-heritage-list-for-england/>)



**Figure 4: Sandleford Park designated area Current English Heritage online mapping**



**Figure 5: Detail of designated area around Sandleford Park(not to scale) Current mapping**

This is to be contrasted with the original paper mapping.

The crux of the matter is that the description of the boundary of the park and the accompanying map contradict each other. Below, the reasons why the written description is to be regarded as correct rather than the map are presented.

This matter has been queried with English Heritage and they were unable to state if either the written description or the map is to be regarded as correct. A formal review of the boundaries of the Park is under consideration by English Heritage.

It is suggested that in fact this point makes no material difference to conservation considerations for this planning application.

There are three things to consider:

1. The written description
2. The map evidence
3. The notification received by the owners of the farm or their predecessors in title
4. English Heritage procedures

Most of what follows is present as part of the main conservation statement.

#### 4.3.1 Notification of the Owners

Under the Terms of National Heritage Act 1983, Schedule 4, Section 8C(2) which states:

*“Register of Gardens.*

*(2) The Commission shall as soon as practicable after including in the register an entry relating to any garden or land, notify the persons mentioned in subsection L3) of this section of the inclusion and send to them a copy of the entry.*

*(3) The persons are-*

*(a) the owner and (if the owner is not the occupier) the occupier of the garden or land,”*

Similarly English Heritage states:

*“Where a park or garden is found to be of sufficient historic interest to merit registration, site details are added to the national 'Register' database, and the site is deemed to be registered. A formal letter of notification is sent out to the applicant and all known owners and occupiers of the site.”<sup>1</sup>*

English Heritage have not notified Gilson Engineering or their predecessors in title that their land is within the boundary of the Historic Park nor have they given any notice of amendment of descriptions.

Either English Heritage have acted unlawfully or they decided that it was unnecessary because the land owned by Gilson Engineering was considered to be outside of the boundary of the Park.

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<sup>1</sup> Quoted online at: <http://www.english-heritage.org.uk/protecting/heritage-protection/what-can-we-protect/registered-parks-and-gardens/how-do-parks-and-gardens-become-registered/>

English Heritage have been asked if they regard the land as being designated but they are unable to state this.

#### 4.3.2 Key Dates

Creation of List of Historic Parks	1983
Designation of Park	1988
Extent of Parks Mapped	Post 1988
Land Acquired by Owners	early 1990s
Construction of current buildings	early 1990s
Current Sandeiford Park Description Written	1998
Editing of the Description	2000

#### 4.3.3 The Written Description & Designation Procedures

The written description states:

*“The park can be divided into north and south halves, both laid largely to pasture with scattered mature trees, including cedars and Wellingtonias. The northern half contains a caravan park, lying north-west of the upper ponds, together with gravel workings towards the north-east corner. The area along the former northern boundary has been eroded by the insertion of houses and a refuse collection point. **Sandeiford Farm, the late C18/early C19 former home farm, stands adjacent to the west boundary at the south-west corner.**”*

This is clear and unambiguous. This concurs with English Heritage procedures which state that:

- *“Main buildings, including stables, lodges and follies as well as kitchen gardens, forming part of the original design are included but not normally churches or farms nor farm areas laid out purely for agriculture, silviculture or other economic purposes.*
- *Areas are then omitted which no longer include the essential character and fabric of the “designed landscape”.*

#### 4.3.4 The Map Evidence

The outline of the park is shown in **Error! Reference source not found.**, with a detailed view in **Error! Reference source not found.** The plans show part of Gilson Engineering Works being included in the Park. This contradicts current usual procedure and the description of the boundary of the Park.

The boundary is illogical in so much as it does not follow any extant boundary features. However what it does follow, in part, is the boundary of the parcels of land which constitute the farmyard as shown on the 1969 OS Plan. In the north the land includes part of a parcel of land which is “braced”<sup>2</sup> to the farmyard although from the map evidence it would be more logical if it was braced with the land to its immediate south. If this plan is considered then the area designated is logical and consistent with English Heritage defined practice.

<sup>2</sup> using Ordnance Survey bracing symbol, ∩, indicating that the spaces so connected are included in the same reference number and area

#### 4.3.5 Discussion of the Extent of Sandlesford Park

1. The inclusion of the land is simply an error in the mapping by English Heritage. English Heritage have not acted unlawfully and thus the land is not designated. The error has been perpetuated in the recent revisions. In particular when the boundary was being transposed onto digital OS mapping this error should have been corrected and amended accordingly.
2. If the land is designated, English Heritage have acted unlawfully on several occasions by not informing the landowner.
3. When the boundary was being transposed onto digital OS mapping the discrepancy should have been checked against the land registry plans in order to check the land ownership.
4. When the planning permission was granted for the current buildings the degraded nature of the parkland was recognised and permission was granted.

This has been queried with English Heritage and a review of the boundaries of the historic park has been requested.

## 5. Sandleford Farm

### 5.1 The origins of Sandleford Farm

The area of proposed development originally took the form of a farm supporting the Sandleford estate. In a survey of 1730, prior to the lease of the estate by Montagu, the farm is described as consisting of:

*“a good farmhouse, 4 barns, stables and other outhouses and conveniences properly and well laid out”.*

There is evidence that the farmyard has been moved northwards away from the house twice in its history, presumably to lessen the impact of farmyard noise and smell on the residents of the house. The final such move took place between the years of 1835 and 1873. Originally there were far more buildings present on the site, many of which have been demolished to leave the site as it is today. These are shown in the map regression analysis.



**Figure 6: Three locations of Sandleford Farm**

In Figure 6, the three locations of Sandleford Farm can be seen. Area 1, now the school hockey pitch, was the initial location of the farm, adjacent to the priory. Area 2 was the farmyard until the

mid 19<sup>th</sup> century. The farmhouse still exists to the northeast corner. Area 3 is the current location of Sandleford Farm.

## **5.2 Designation of Sandleford Farm Yard**

*No buildings at Sandleford Farm are listed.*

An application was made in 2007 for the buildings to be listed. English Heritage carried out a thorough investigation of the buildings and the decision was made not to list, based on the following principal reasons:

- The buildings are of a common rather than unusual type.
- With the exception of unit 4/7, the buildings are of very late date.
- The buildings have been altered from their original form by subsequent uses, such that the historic fabric has been compromised.

The listing report also mentions the following:

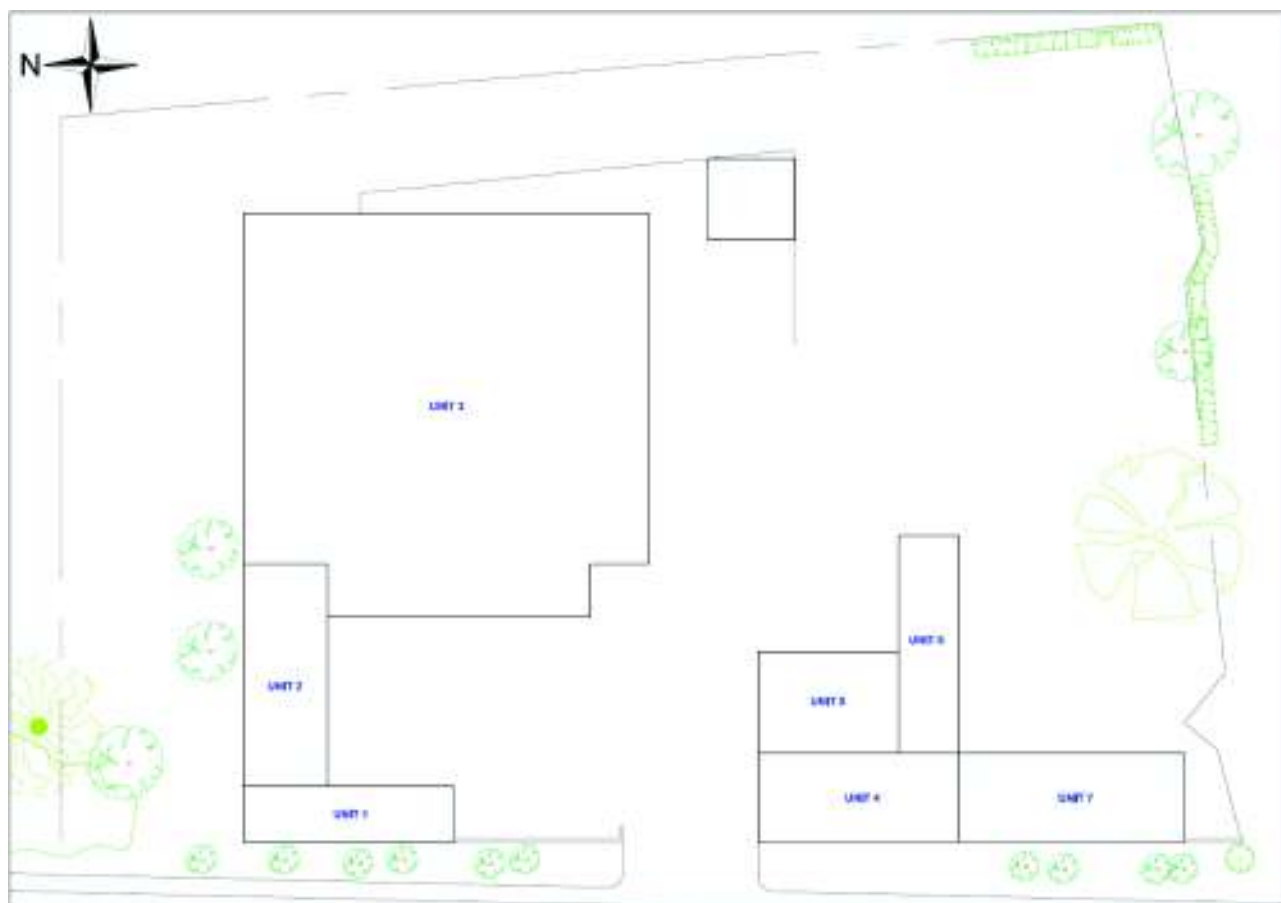
*'The buildings... lie partially within the Registered Historic Park of Sandleford Priory... However, the farm buildings in question, although mentioned in the register entry, are not identified as contributing to the historic interest of the park and indeed largely post-date the layout of this landscape.'*

The report also acknowledges the landowner intends to develop the premises – this fact has not swayed the outcome of the decision.

## 6. Existing Buildings

The following buildings are present on the development area:

Unit	Building Type	Current Use	Date	Architectural Style
1	Stable Block	Furniture Restoration Workshop	1877-1900	Victorian Vernacular
2	Possible Pigsty	Workshop / Storage / Office	1877-1900	Victorian Vernacular
3	Industrial Workshop	Workshop / Office	Post 1990	Modern
4	Barn	Storage	1832-1870	Victorian Vernacular
5	Workshop	Engineering Workshop	Modern	Modern
6	Possible Pigsty	Storage	1870-1877	Vernacular
7	Stable Block	Workshop / Storage / Office	1832-1877	Victorian Vernacular



**Figure 7: Plan of current buildings (not to scale)**

Below, the buildings are described. At the end of each section, the description from the English Heritage Adviser's Report (dated 30<sup>th</sup> August 2007) is included.

## 6.1 Date of Buildings

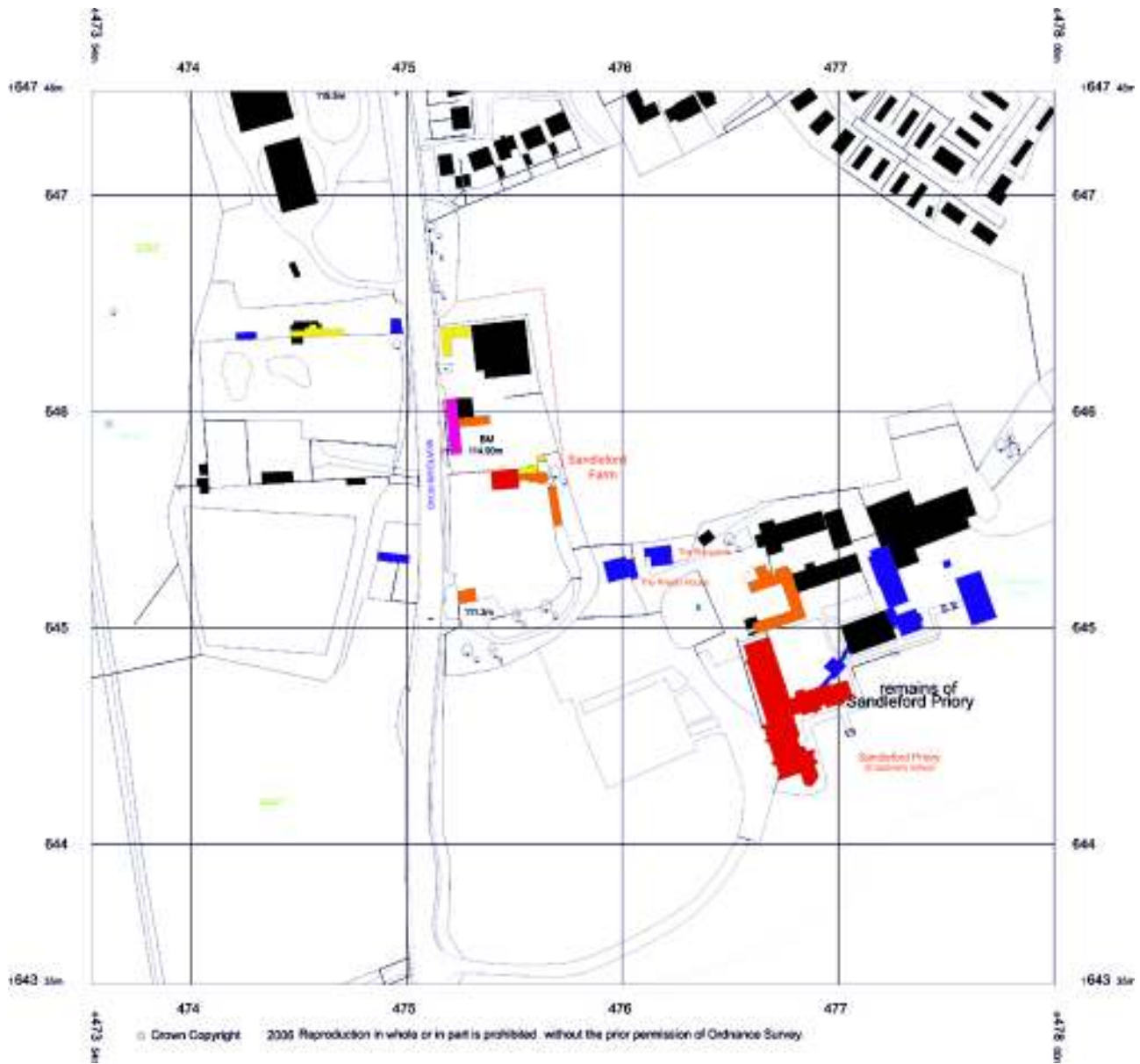
The following table derives from analysis of the map evidence (see section 9 below) and date ranges for the construction of the buildings can therefore be suggested:

Unit	Presence on Plan						
	1870 Estate Map	OS 1877	OS 1900	OS 1911	OS 1934	OS 1969	OS 1999
1	N	N	Y	Y	Y	Y	Y
2	N	N	Y	Y	Y	Y	Y
3	N	N	N	N	N	N	Y
4	Y	Y	Y	Y	Y	Y	Y
5	N	N	N	N	N	N	N
6	N	Y	Y	Y	Y	Y	Y
7	Y	Y	Y	Y	Y	Y	Y

It is noted that this analysis differs from the dates suggested in the park designation description (appended) which suggests the buildings are:

*“Sandleford Farm, the late C18 / early C19 former home farm, stands adjacent to the west boundary at the south-west corner.”*

It is unclear what these dates are based upon, considering the map evidence shows the majority of buildings were absent until at least 1877 – 1900.



Key







	Pre 1832 Buildings		Buildings constructed 1877-1898
	Buildings Constructed 1832-1870		Buildings constructed 1934-1969
	Buildings Constructed 1870-1877		Buildings constructed after 1969

Figure 8 Phase Plan Sandeford Park

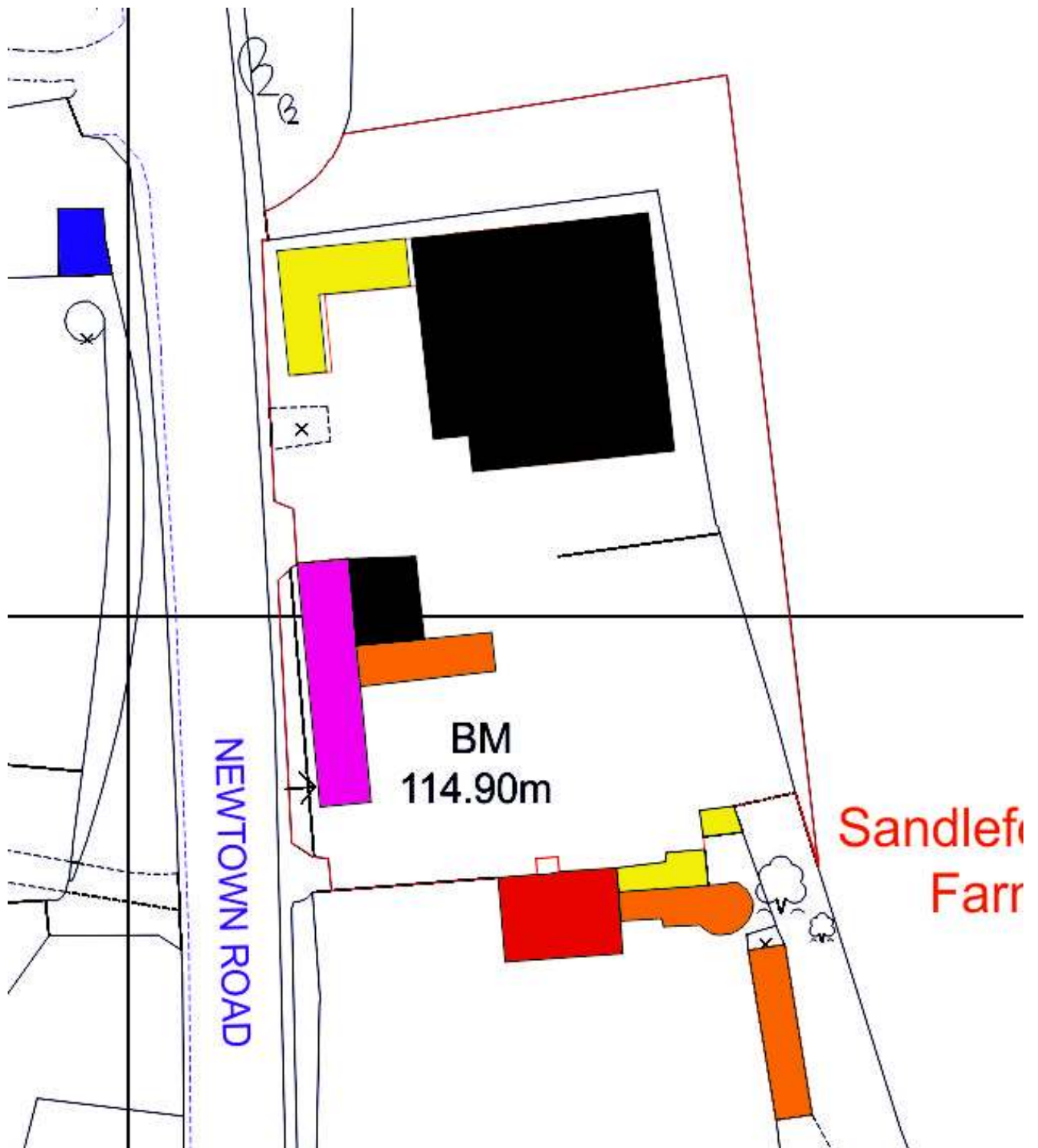


Figure 9: Phase plan

## 6.2 Unit 1

<b>Item</b>	Description
<b>Material</b>	Brick – Corrugated Iron Roof
<b>Date</b>	1877-1900
<b>Function</b>	Furniture Workshop and Store – Originally Stable
<b>Original Form</b>	Building outline is original
<b>Alterations</b>	Blocking of doors, insertion of door in gable end, internal wall demolished and relocated
<b>Original Features</b>	Some internal and external ironmongery
<b>Associations</b>	None
<b>Historic Interest</b>	Low
<b>Architectural Merit</b>	Low
<b>Degree of Alteration</b>	High
<b>Rarity</b>	Common

Unit 1 is a brick built stable block in a vernacular style. Its entrance lies to the south. The building is currently used as a furniture restoration workshop and has been modified on a number of occasions. The building forms the border with Newtown Road (A446) at the northern end of the site. The consistent Flemish bond, as a contrast to other buildings on the site which have varying or mixed bonds, suggests professional builders constructed this building whereas it is not necessarily the case for the others.

This building is not present on the 1877 OS 1:10056 plan but is present on the OS 1900 1:2500 OS plan; its date of construction is therefore 1877-1900. Structurally this building is later than or contemporary with unit 2.

The roof is gabled, and jointed to that of unit 2. A blocked window exists in the centre of the north wall which borders a small lightly wooded area.

The east elevation highlights the construction of the roof of corrugated metal. Visible between the windows are lighter bricks in stretcher bond where the original stable doors have been blocked. To the right of the southernmost door, a hook for tack or other equine equipment is located.

Double doors largely occupy the southern elevation of unit 1. It is thought that the installation of these doors is contemporary with the blocking of the stable doors on the eastern elevation. The gabled roof is evident, with a cable support at the apex for previous power or communication lines. A modern meter / distribution box has been installed adjacent to the wall bounding the yard with Newtown Road.

The west elevation of unit 1 borders Newtown Road (A339). To the south, a contemporary wall stretches to the gateway of the site; and to the northern end of the roof the pitch of the roof of unit 2 can be seen. One window is present below this.

All original doors have been removed and their openings blocked. The present doors are of timber, hinged outwards. The windows in unit 1 appear to be contemporary with the building itself. They consist of bottom-hinged casements, set in wooden frames.

Unit 1 originally terminated in line with the south wall of unit 2. The area beyond this was part of unit 2. Currently, the wall separating the units has been partially demolished and a wall of concrete blocks built across unit 2 in line with the eastern wall of unit 1, thus extending unit 1 into the unit 2 building.

The tenant uses the boarded-out roof space of the unit 1 extension for storage. Access is via a hatch at the southern limit of the extension (see Plate 7).

Further original features can be located on the inside of the western wall (see Plate 9). Beneath modern galvanised ducting, a cast iron air vent can be found, and below, two iron rings can be found, originally for tethering horses and hanging feed. It is thought that any interior partitions between stables would have been of timber, of which no trace remains.

### 6.3 English Heritage Description Unit 1

*UNIT 1 is a red brick, single storey building with a corrugated metal roof. It is oriented north-south and its west elevation bounds Newtown Road. It was built, on map evidence, between 1880 and 1898 as it is first shown on the Ordnance Survey map of 1898. It appears to have been a stable block originally and has evidence of blocked stable doors and inserted nine-pane timber framed windows in the east elevation. Double doors have also been inserted in the south elevation. There is little of historic interest visible internally; the building now has a concrete floor and the roof is boarded out precluding examination of the roof structure.*



**Plate 1: North elevation, unit 1**



**Plate 2: Hook, east elevation, unit 1**



**Plate 3 East elevation, unit 1**



**Plate 4: South elevation, unit 1**



**Plate 5: Unit 1, west elevation**



**Plate 6: Interior of window, unit 1**



**Plate 7: Unit 1 from north, viewed through partially demolished wall**



**Plate 8: Unit 1, modern partition wall to unit 2 (left), original wall (right)**



**Plate 9: Historic features of unit 1 - air vent and rings**

## 6.4 Unit 2

<b>Item</b>	Description
<b>Material</b>	Brick, roof - some tile but mainly corrugated iron
<b>Date</b>	1877-1900
<b>Function</b>	Currently storage and office space. Reported by owner to have been pigsty.
<b>Original Form</b>	No
<b>Alterations</b>	Bricked up windows and openings, roof changed from tile to corrugated iron, modern block wall and windows addition
<b>Original Features</b>	Windows
<b>Associations</b>	None
<b>Historic Interest</b>	Low
<b>Architectural Merit</b>	Low
<b>Degree of Alteration</b>	High
<b>Rarity</b>	Common

Unit 2 is an east-west agricultural building which is earlier than unit 1. The unit is of the same construction (red brick, Flemish bond) and has a more recent galvanised corrugated roof. The unit is used as a workshop / storage facility with separate office at the eastern end. This building is not present on the 1877 OS map but is present on the 1900 map; its date of construction is therefore 1877-1900. Structurally it is earlier than or contemporary with unit 1.

The north elevation of unit 2 gives an insight into the original layout of buildings. To the east can be found the gable end of a building or range of buildings that would have stood in the location of the western part of the current unit 3; buildings which have now largely been demolished. A bricked-up arched window can be found in the centre of this wall, alongside a more modern bricked up opening.

Moving west, a short section of tiled roof marks the start of the original east-west building, continued with modern corrugated metal sheet over the length of the unit. Unit 3 obscures the east elevation of unit 2, of which it forms part.

The south elevation of unit 2 reflects that of the rear. Unit 3 obscures the easternmost part and the westernmost butts up against unit 1. The roof of the central portion is corrugated sheet for the majority, including panels of clear corrugated plastic to admit light, whereas the western end is tiled prior to meeting the remaining part of the pitched north-south roof.

The west elevation is a modern block-built party wall with unit 1, which can be seen in the photograph below. The door to unit 2 appears to be contemporary with the door fitted to unit 1 and to unit 3. This suggests the doorway is not original, although may well be in the position of an original door, owing to the lack of evidence for another door in this elevation. Six windows exist to the east of the door. The windows appear to be identical to those in unit 1, although these have different lintels. All lintels are moulded like that in Plate 13 except that furthest to the east which has no moulding.

The interior of unit 2 is divided into two parts by a wall close to the original location of the now demolished north-south range of buildings. The area east of this wall includes the far eastern window and is currently used as office accommodation, whereas the area to the west is used for storage and as a workshop.

## 6.5 Unit 2 English Heritage Description

*UNIT 2 is a single storey red brick building, oriented west-east marking the northern extent of the complex. It also has a pitched corrugated metal roof of very recent date although a small tiled section survives at its eastern end. This building is not shown on the Ordnance Survey map of 1880 but does appear by the 1898 edition providing a late C19 date.*

*Again the building has experienced modifications with evidence of blocked original openings, such as to the north, inserted double doors to the south and inserted windows of the same style as Unit 1 and therefore probably contemporary. A scissor brace roof with machine cut timbers is visible internally but the building otherwise lacks architectural features of interest.*



**Plate 10: North elevation unit 2**



**Plate 11: Unit 2 south elevation, west end**



**Plate 12: Unit 2 south elevation, east end**



**Plate 13: Window, unit 2, showing lintel**



**Plate 14: Eastern window, unit 2, south elevation, showing different lintel**



**Plate 15: Unit 2 internal, showing original wall of north-south range**



**Plate 16: Western interior, unit 2**

## 6.6 Unit 3

<b>Material</b>	Block and steel construction
<b>Date</b>	Modern - post 1990
<b>Function</b>	Industrial Workshop
<b>Original Form</b>	Yes
<b>Alterations</b>	N/A
<b>Original Features</b>	N/A
<b>Associations</b>	N/A
<b>Historic Interest</b>	None
<b>Architectural Merit</b>	None
<b>Degree of Alteration</b>	N/A
<b>Rarity</b>	None

Unit 3 is largely a modern industrial unit of brick, block and steel construction. The unit comprises a large workshop area with offices to the west. There is a small sales counter accessible from a door to the southwest corner.

There are the remains of a wall belonging to a previous structure located at the northwest corner of the unit, which appears contemporary with the wall of unit 2. It can be assumed, therefore, that a yard existed on this site bordered on three sides by buildings, with the building on the site of unit 3 possibly being a mirror of unit 1. The current wall of unit 3 incorporates some recycled bricks, possibly from the original structure.

## 6.7 English Heritage Description Unit 3

*UNIT 3 is a late C20 industrial unit built after 1990. There are two parallel sheds with shallow pitched roofs to the east and an office range with a steeper pitched roof to the west, all in red brick. There is a small area of older fabric to the north-west comprising a section of brick walling which is probably of late C19 date, and there are other reused historic*

*bricks, presumably relating to the former buildings on this site, however, these are the only elements of any age.*



**Plate 17: Interior of workshop, unit 3**



**Figure 10: Corner of units 2 and 3, showing original brickwork in wall of unit 3**

## 6.8 Unit 4

<b>Material</b>	Brick with timber weather boarding, tiled roof
<b>Date</b>	1832-1870
<b>Function</b>	Barn – now used for industrial purposes
<b>Original Form</b>	No
<b>Alterations</b>	Insertion of double doors on north elevation
<b>Original Features</b>	None observed
<b>Associations</b>	None
<b>Historic Interest</b>	None to Low
<b>Architectural Merit</b>	None
<b>Degree of Alteration</b>	High
<b>Rarity</b>	Common

Initial appearances suggest that unit 4 could be an 18<sup>th</sup> century barn in the vernacular style. This is, however, not the case. Various features point to a more recent date. This building is shown on the 1870 estate map but not the 1832 Tithe map. The barn is currently used for storage of industrial equipment.

A roller shutter stretches over the central part of the north face of the building. Either side, red brick walls can be found, in mainly Flemish with some stretcher bond. Above the door, the wall is clad in timber weatherboarding. The roof is half-hipped and is dressed in slate.

Units 5 and 6 obscure the eastern wall. Internally, the wall is made up of bricks in varying bonds, suggesting non-professional construction.

The southern wall is a party wall with unit 7. It is fully obscured in unit 4. The western elevation of unit 4 is the site boundary with Newtown Road (A339).

Plate 19 shows at least two phases to the construction of unit 4. The area to the left of the photograph behind the 'Gilson Engineering' sign is of older brickwork than any other part of the barn

The abrupt termination of the darker section of the wall may indicate the extent of an earlier structure. It is common when repairing or joining walls for the brickwork in existing structure to be tied into new brickwork. This has clearly not occurred, ruling out this possibility.

The southern end of unit 4 joins unit 7. The brickwork appears newer on unit 4 than unit 7 which is constructed of uniform red brick in a lime mortar matrix.

It is clear that the majority of the southern wall of unit 4 has been built using a mixture of 19<sup>th</sup> century hand-made or wirecut, and 20<sup>th</sup> century bricks, arranged in Flemish bond with cement mortar. Lime mortar was used until around 1930 when cement mortar began to take precedence indicating the wall is likely to have been rebuilt after this date<sup>3</sup>.

It can be seen in Plate 20 that the wall of unit 4 is not interlocked with that of unit 7. This suggests that unit 7 was a separate entity prior to the construction of unit 4.

No doors of historical significance exist in unit 4. There are no external windows, although some blocked windows exist in the eastern wall. This confirms that this wall existed prior to the construction of unit 5.

The building housing units 4 and 7 is clearly late Victorian in date based upon the brick types that are present. The bricks are machine made bricks which must therefore post date 1840. They are

<sup>3</sup> <http://www.minervaconservation.com/articles/abriefhistoryoflime.html>

also of a size and form consistent with a Victorian date, not from the 18<sup>th</sup> century. See the appended brick catalogue for details.

The roof timbers are all machine sawn softwood timbers and thus must post date 1840.

There is thus clear physical evidence that this building is not eighteenth century in date.

## 6.9 English Heritage Description Units 4 and 7

*UNITS 4 & 7 are two halves of the same range. This is a red brick, rectangular, two storey structure located in the southern part of the site. It is oriented north - south with its western elevation bounding Newtown Road. This building is the oldest of all those under assessment. Although its precise construction date is unclear, map evidence suggests that it is of late C18 origin as a building **appears** to be shown at this location on the 1802 estate map and is shown on other early C19 maps. It has a tile roof, which is half-hipped at its northern end where the gable below is weatherboarded. It is understood to have been a former stable with hayloft above and an adjoining bam to the north. Externally the building has again experienced modifications: the roof form is odd with the southern end pitched and the northern half-hipped. The north elevation has been considerably altered by the insertion of a large modern roller shutter door. The northern part of the east elevation is largely obscured by the adjoining units although to the south (where it forms unit 7) the facade is visible. This has a number of window and door openings with shallow brick arched heads. There is an off-centre dormer with a weatherboarded gable to the former hayloft. There are large double doors in the centre of the elevation which are of relatively recent date. The south elevation has a single window, at first floor level, again with a shallow brick arched head.*

*Internally the flooring is now of concrete obscuring any former stable surface. The roof structure is visible in part and comprises a collar beam supported by raking struts. The timbers are machine cut, suggesting a later C19 date, and the joints are pegged.*



**Plate 18: Unit 4 north elevation**



**Plate 19: Western elevation, unit 4**



**Plate 20: Join between unit 4 (left) and unit 7 (right) is clear from the western elevation**

## 6.10 Unit 5

<b>Material</b>	Concrete block with corrugated metal roof
<b>Date</b>	Modern
<b>Function</b>	Engineering Workshop
<b>Original Form</b>	N/A
<b>Alterations</b>	N/A
<b>Original Features</b>	N/A
<b>Associations</b>	None
<b>Historic Interest</b>	None
<b>Architectural Merit</b>	None
<b>Degree of Alteration</b>	N/A
<b>Rarity</b>	None

Unit 5 is a modern engineering workshop built of pre-cast concrete blocks with a flat corrugated metal roof. The structure utilises the walls of units 4 and 6, the area between which it occupies.



Plate 21: Unit 5 interior

## 6.11 Unit 5 English Heritage Description

*UNIT 5 is also a late C20 rectangular unit. It has been constructed in the angle between Units 4 and 6 and therefore uses their east and north walls respectively. The remaining walls are in concrete blocks and it has a flat roof with a corrugated metal covering. This unit was not inspected internally.*

## 6.12 Unit 6

<b>Material</b>	Brick with slate roof
<b>Date</b>	1870-1877
<b>Function</b>	Possible pigsty
<b>Original Form</b>	No
<b>Alterations</b>	Windows and upper parts of wall
<b>Original Features</b>	None observed due to access restrictions
<b>Associations</b>	None
<b>Historic Interest</b>	None
<b>Architectural Merit</b>	None
<b>Degree of Alteration</b>	High
<b>Rarity</b>	Common

Unit 6 extends east from the southernmost end of unit 4. The building is of later construction than unit 7, and has a sloping slate roof. The walls are of brick in a lime and cement mortar matrix, with varying bonds (stretcher and Flemish) suggesting non-professional builders were used. The building is used for storage with toilet facilities at the eastern end.

This building was constructed between 1870 and 1877 according to map evidence.

The north elevation of unit 6 appears to be of newer brick than that of the southern face. Repairs to the top left corner of the wall are evident, and a large patch of black painted brickwork between the two doors and to the west is evidence that there is likely to have been a structure located to the north of this part of the building and consequentially, the part of the wall bearing black paint was once an internal face. This suggestion is perpetuated by the presence of black paint over the lower part of the interior of unit 1.

A double door adjacent to unit 5 provides access to the interior of unit 6. To the left of this door, a further, more modern door leads to toilet facilities.

The east elevation is plain except for an air-brick to ventilate the toilet cubicle within. The steep pitch of the roof can also be seen. A wooden fascia board sits below the slates at the edge of the roof.

The southern elevation contains a second access door to unit 6, with a window alongside. Beneath the window, the wall is rendered in cement to the west. Examining the brickwork, the lower ten courses are constructed of bricks considerably smaller than those above. This has two possible causes – either that the wall was constructed in two phases, existing originally as a low wall for a pigsty or similar, before being extended vertically upon construction of the building as it now stands, or alternatively that the lower portion of the wall was built using recycled bricks from a previous structure, whilst the upper part used newer bricks.

Unit 4 obscures the western wall of unit 6. The wall is shared with unit 4. All doors are 20<sup>th</sup> century. All windows are late 19<sup>th</sup> - 20<sup>th</sup> century. They have wooden frames and are casemented, with four panes per window. The frames are badly weathered showing remains of green/blue paint, the same colour as that on the doors. The eastern end of unit 6 is a washroom / toilet shared between the other units. This is a modern addition. The remainder of unit 6 is used for storage. Access to this area was not possible.

## 6.13 English Heritage Description Unit 6

*UNIT 6 is a red brick late C19 building which is first depicted on the 1871-2 Ordnance Survey map. It has a sloping slate roof, the apex of which is to the north. However, it has experienced some alterations evident in modified openings and patches of newer brickwork; the oldest bricks are at the base of the structure suggesting successive phases*

*of modification. It was partially inspected internally - at the east end - now modernised to provide toilet facilities.*



**Plate 22: North elevation, unit 6**



**Plate 23: South elevation, unit 6 (manipulated image)**



**Plate 24: Detail of window, unit 6**



**Plate 25: Interior of washroom / toilet, unit 6**

## 6.14 Unit 7

<b>Material</b>	Brick with Tile roof
<b>Date</b>	1832-1877 – likely to be nearer the end of this date range
<b>Function</b>	Stable
<b>Original Form</b>	Yes
<b>Alterations</b>	Windows, modern doors, steel lintels, modern partitions
<b>Original Features</b>	Timbers
<b>Associations</b>	None
<b>Historic Interest</b>	Low
<b>Architectural Merit</b>	None
<b>Degree of Alteration</b>	High
<b>Rarity</b>	Common

Unit 7 is a late Victorian stable block comprising stable area on the ground floor and hayloft above. The walls are constructed of single-skin Flemish bond brickwork, using locally hand-made bricks and a lime mortar, and the roof is of plain clay tiles.

The north elevation of the building is obscured by unit 4, of which it forms part. The east elevation of unit 7 features two windows and two doors. The southernmost doorway is original whilst the latter is a large timber double door that possibly took the place of a smaller door and window. The roof itself has a modern opening, covered with corrugated plastic sheeting, the opening thought to have been made to admit light into the roof space. A dormer window is also present, for the same purpose.

The south elevation of unit 7 is plain in appearance with a single window in the hayloft, now office space. Several brackets can be found above the window for communication and power cables previously run to the building.

The west wall of unit 7 joins with that of unit 4 and makes up the farmyard boundary to Newtown Road. In Plate 30, the extent of unit 7 can be seen slightly to the left of the leftmost ranging pole. Another modern roof window can be seen on this side of the building.

The smaller door to the south of unit 7 has a cambered brick lintel above the opening in order to support the weight of the wall above. The original stable door has been replaced with a more modern wooden door and the gap between the door top and the arch has been filled with brick. It is assumed a similar arrangement existed at the northern end of the building where large timber double doors are located. These are not considered to be original due to the presence of a rolled steel joist lintel, visible inside. It was not possible to obtain exterior photographs of these doors.

The wall at the southernmost end of the large doorway is chamfered to facilitate easier access although it is thought that this is a feature contemporary to the installation of the large doors rather than being the edge of an earlier opening.

The stable features cambered brick window surrounds, like that of the small door. These were common up to the middle of the 19<sup>th</sup> century, although vernacular buildings, in particular those in rural locations such as this, do not necessarily keep up with trends in building practice and may well feature older architectural styling.

The windows are fitted with single-pane glazed wooden casements.

The upper floor in unit 7 is supported on a combination of original and modern beams. Original beams run east-west, with modern timbers generally north-south. The building is partitioned across its width providing two rooms on each floor. The southern room on the first floor is used as office space, whilst storage and the staircase between floors occupies the northern room. On the ground

floor, both rooms are used as workshops, with the northern room also used for storage. An inner room has been constructed from UPVC against the north wall, the area used as a storage facility.

On the first floor, the roof timbers are visible. The timbers show marks from a mechanical saw meaning it is unlikely they date from before the 19<sup>th</sup> century. Steam sawmills were introduced in 1790 although their widespread use in the general building trade in Britain is considered to have occurred later. The timbers are jointed using wooden pegs which suggest an early date, although as mentioned above, it is common for craftsmen constructing vernacular and agricultural buildings to use older, more traditionally ingrained techniques.

It is suggested that the date of this building – the southern part of Unit 7, makes no material difference because the intent is to retain this part of the building.

The building housing units 4 and 7 is clearly late Victorian in date based upon the brick types that are present. The bricks are machine made bricks which must therefore post date 1840. They are also of a size and form consistent with a Victorian date, not from the 18<sup>th</sup> century. See the appended brick catalogue for details.

The roof timbers are all machine sawn softwood timbers and thus must post date 1840.

There is thus clear physical evidence that this building is not eighteenth century in date.

***English Heritage Description: See Unit 4 Above***



**Plate 26: Unit 7 east elevation partially obscured**



**Plate 27: Unit 7 south part of east elevation**



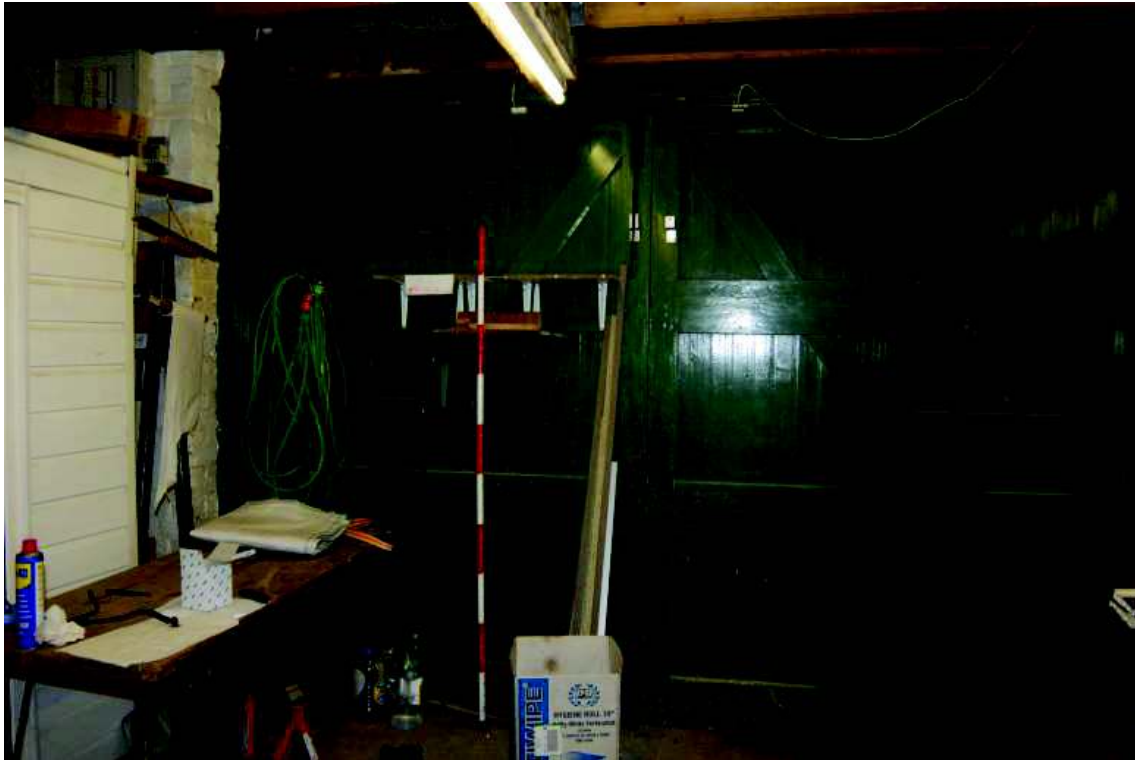
**Plate 28: Detail of roof, east side, showing dormer and roof window**



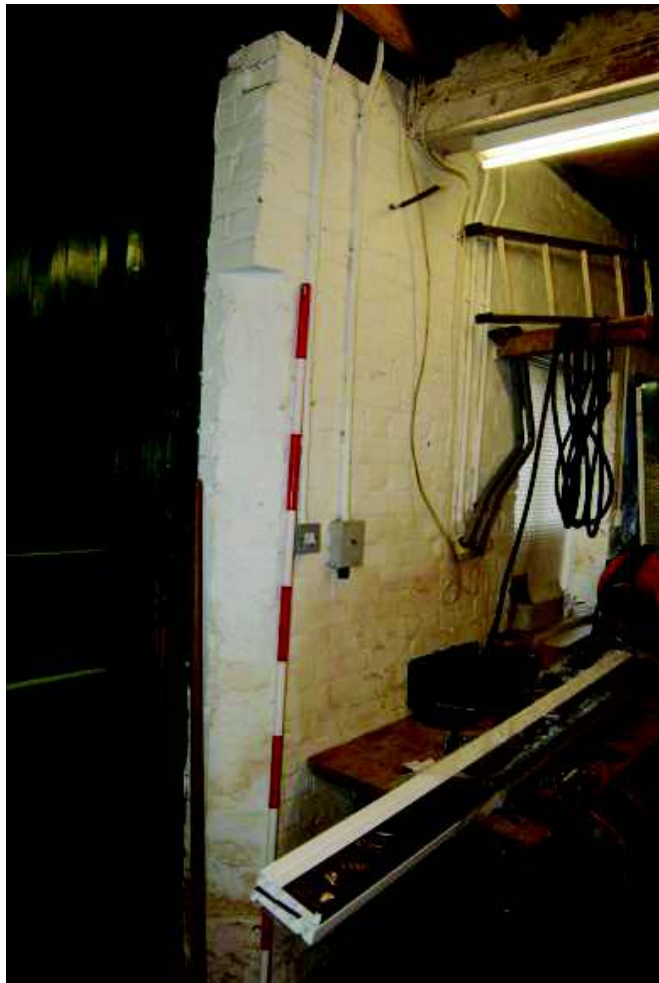
**Plate 29: South elevation, unit 7**



**Plate 30: West elevation, unit 7**



**Plate 31: Internal face of large doors, unit 7, showing RSJ lintel**



**Plate 32: Detail of door frame, unit 7, showing chamfered wall**



**Plate 33: Unit 7 window**



**Plate 34: Modern north-south timbers and original east-west timbers supporting upper floor**



**Plate 35: Roofing timbers of unit 7**



**Plate 36: Detail of roofing timber joint**

## **7. The Importance of The Buildings**

In 2006 when the original pre-application consultations were being made West Berkshire Council requested that an assessment of the buildings was made. In 2007 a request to English Heritage was made to list the buildings. They considered that the buildings did not meet the criteria for listing because:

- Buildings which are of a common rather than unusual type
- With the exception of unit 4/7 the buildings are of very late date
- Buildings which have been altered from their original form by subsequent uses such that the historic fabric has been compromised.

The buildings are not locally listed. It is noted that during consultations with the District Council they have not indicated that any building is a “heritage asset” apart from building Unit 7 a former stable.

## 8. “The Ice House”

Duncan Coe, West Berkshire County Archaeologist, suggested that an ice house might be present on the development area at Sandford Farm. This possibility has been investigated by the following means:

1. Discussion with the person who reported the presence of the ice house
2. Checks of aerial photographs held in the National Monuments Record
3. Checks of historic maps and documents
4. Visual inspection of the ground
5. Amateur investigations by the owner of the neighbouring property

It must be noted that an “Ice House” is a formal category of a building with a specific function constructed in a specific way. Any shaded structure such as a cellar could be used to store ice on a short term basis. A detailed description of Ice Houses can be found in the English Heritage Document Monument Class Description “Ice Houses”.

### 8.1 Background to Ice Houses

An ice house is a structure located partially underground, used to store ice collected during winter for use in cooling and preserving food during the year. Ice houses were first introduced into Britain at around 1660 although the majority were built between 1750 and 1875<sup>4</sup>. By the end of the Victorian era most large houses were equipped with one. Generally they are large deep structures with a mound on top. An entrance door into the mound often faces north or southeast.

The chamber was usually constructed from brick (although examples constructed from stone or timber are known) with double walls separated by a cavity to provide extra insulation and keep the ice dry. A drain at the bottom of the ice chamber was considered to be a vital feature because the presence of water increased the rate at which the ice melted. The chamber was topped with a brick vaulted or domed roof, again with cavity. This was either covered with earth or by a thatched roof. Brick ice house walls often reach 2 feet (0.6m) in thickness.



Plate 37: The ice house at Avoncroft Museum of Buildings

<sup>4</sup> Buxbaum, T. 2002. *Icehouses* Princes Risborough: Shire Publications, p. 7



**Plate 38: The entrance to the ice house at the Avoncroft Museum of Buildings**



**Plate 39: The internal structure of the ice house (Avoncroft Museum of Buildings)**



**Plate 40: The Stourhead ice house (Wiltshire)**

Ice houses were often sited near the stable block or walled garden, by the game larder or on the perimeter of the deer park. Many were built by old fishponds or landscaped lakes. Proximity to the house or to a source of ice was often less important than solving the problem of drainage, which in such structures was critical.<sup>5</sup>

The location and construction of ice houses was discussed by, amongst others, John Papworth, writing in 1819, and William Cobbett, writing in 1821. Their comments, summarised by Buxbaum are as follows:

*[The ice house should be constructed] 'in a retired spot in the grounds, and not far removed from water, and yet sufficiently elevated to be secure from damp', by which he meant safe from permanent saturation below the water table.*  
(Papworth)

*Ice will not melt in the hottest sun as soon as in a close and damp cellar. An icehouse should never be underground nor in the shade of trees, but the bed of it ought to be 3 feet above the level of the ground.* (Cobbett)

Buxbaum concludes that 'the most popular location became the sloping bank of a stream or pond, no too far from one of the estate roads.'<sup>6</sup> The size of the typical ice house varies with Buxbaum citing examples in literature ranging from 8 feet in height by 6 feet in diameter to a structure over 33 feet in height. The general consensus was that it should be big enough to hold enough ice to supply the household for a year.<sup>7</sup>

The reasons for having ice were many and varied ranging from medical uses for treating fever and inflammation, for cooling on hot days, chilling food, making confectionery such as Ice Cream as well as aiding the storage of food. It must be recalled that ice was a luxury commodity in short supply.

<sup>5</sup> Buxbaum, T. 2002. *Icehouses*. Princes Risborough: Shire Publications p. 7

<sup>6</sup> *ibid*

<sup>7</sup> *ibid*, p. 10

The ice house worked on the principle that the rate of melting of the stored ice was slowed so that it lasted through the summer and was mined from the ice house for use in the kitchen. Thus the ice house would be entered infrequently to prevent warm air entering.

The Refrigerator was invented in 1748 and a patent was lodged in 1851. Commercial Ice Makers were commonly available from 1892. A self-contained refrigerator, with a compressor on the bottom of the cabinet was invented by Alfred Mellows in 1916. Mellows produced this refrigerator commercially but was bought out by William C. Durant in 1918, who started the Frigidaire Company in order to begin the first mass-production of refrigerators

In addition after 1880 there was a rise in average temperatures making natural ice scarcer. Thus the need for an ice house was greatly diminished by the end of the nineteenth century.

## 8.2 Evidence for an Ice House at Sandlesford Farm

### 8.3 Verbal Reports

The current owner of Sandlesford Farm House reports that the previous occupant of the farm stated that there was an ice house to the north of the house used in association with the dairy. In about the position indicated, the owner found a substantive curved brick wall when erecting a fence. This was located near the garage. This was discussed with David Hale, the current owner. He himself had not seen an extant ice house and was only assuming it was one because of the previous owner's report. Dale Hale in his letter dated 12/12/2011 states:

*Mrs Butler, the farmer's wife, lived for several years after I purchased the farmhouse. In fact my wife and I became quite friendly with her and were invited on more than one occasion to share tea with her in her new home at Monks Lane, (a cottage once owned by the farm). This was just a mile or so from the farmhouse, it was here she shared the history of the farm with us.*

*She often discussed her memories of the farm and a vivid description of the ice house, so vigorously denied by Gilson's agents. She described the cutting and transportation of ice from the Priory ponds, which was used for the farming co-operative that existed at the turn of the centenary. We kept in touch until her death a few years later.*

These comments must be treated with caution because:

1. They recount a conversation 25 years ago.
2. They are the memories of an elderly woman of events that took place in all probability over a 100 years ago when she must have been very young.
3. Ice would have been undoubtedly cut on the Priory Ponds in order to stock the two Ice Houses known to have existed. The cutting of the ice was usually followed by a social event for the workers.

In an email dated 5/12/2011 The son in law of Mrs Butler states that "I think the idea of an ice house is just a romantic dream"

#### 8.4 Visual Inspection

There are no visual signs of a structure here. An ice house would have a definite mound, no trace of which was visible above the ground (see Plate 42).

#### 8.5 Excavation

Test pits were excavated by the owner of Sandleford Farm House Mr David Hale. The locations are approximated in the following plan. The excavations were observed by Duncan Coe, West Berkshire County Archaeologist. Further Excavations have been undertaken by MR Hale.

The excavations revealed a domed brick structure located entirely below ground, the extent and nature of which was not explored. A brick culvert was also revealed. The areas containing brick structures have been backfilled, with planting subsequently occurring on the site of excavation. In addition a brick culvert was observed to the west of Sandleford Farm House.

In an email dated 10/10/2011 Mr Hale states that:

I have now carried out further limited excavations and the results are very interesting. It appears as though there is an entrance/opening just below the surface, which at sometime in the past has had excavated material banked up in front of and inside it. Beyond the opening it appears to extend into another chamber, unfortunately this could not be excavated as it on the application site.

An extension pole with attached camera was inserted into the opening and 'blind' photos taken, It can clearly be seen that the structure has a domed roof and measurements reveal it stretches beyond the boundary of the farmhouse.



#### **Plate 41 Hale Photograph of Subterranean Structure**

While it is difficult to identify and date the bricks with certainty is clear that they are not Georgian in date. The bricks appear to be Victorian in date and likely to date towards the end of the Victorian period.



#### **Plate 42: The location where the wall was found**

## 8.6 The Map Evidence

No ice house is shown near the farmyard on the historic mapping. However on the 1877, 1911 and 1934 Ordnance Survey plan there are structures which are the right size (c. 7m across) and shape for ice houses, located adjacent to Sandleford Priory.

Two ice houses in close proximity is very rare, making it more unlikely the structures depicted are ice houses. The shape indicates that if they are ice houses, they were not covered, either by earth or thatch, at the time they were recorded by the Ordnance Survey, and presumably were disused or recently completed at this point. They are adjacent to a track which leads to the fish pond - a source of ice in the winter - however as stated above, proximity to an ice source is not a necessity.

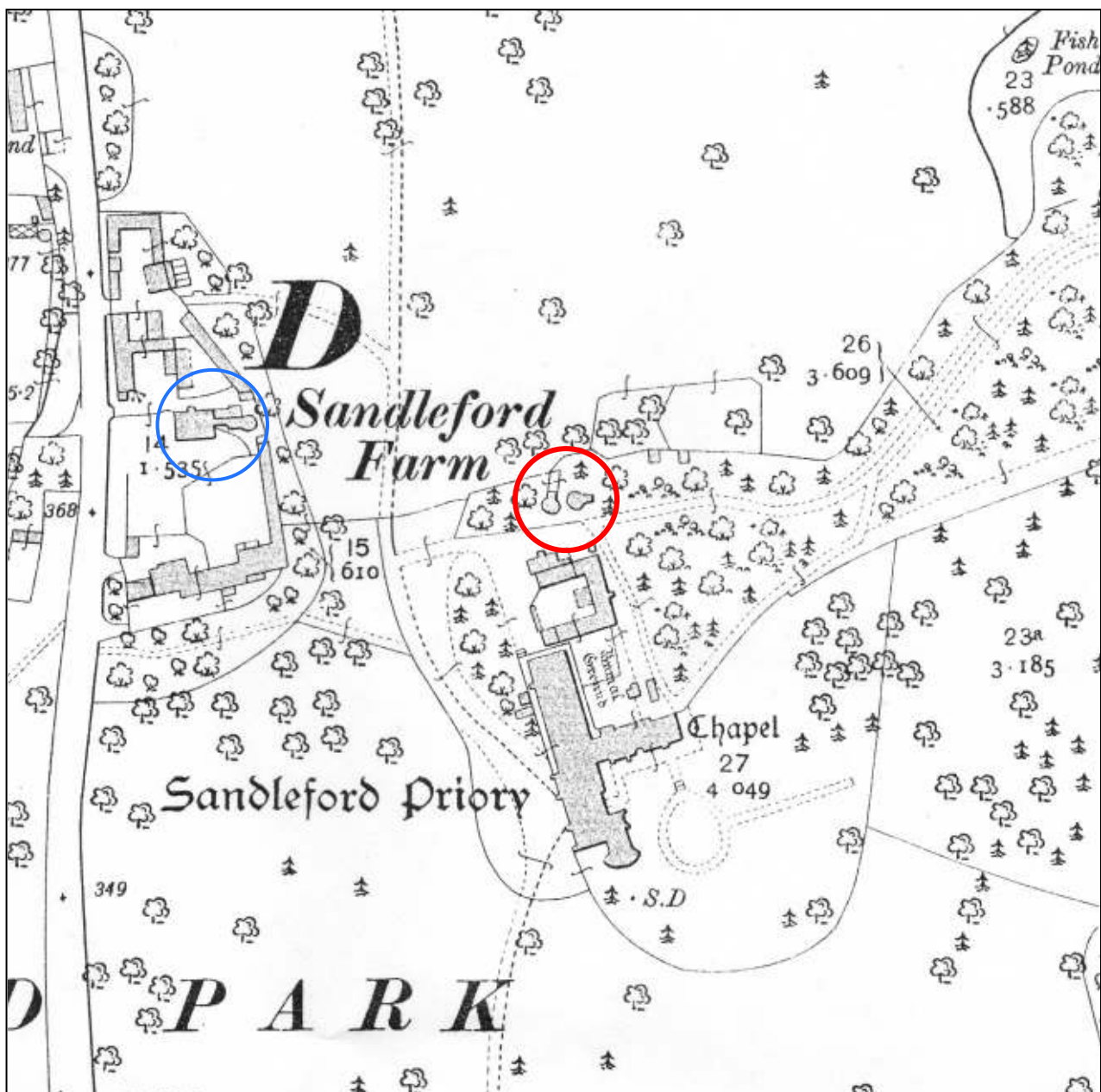


Figure 11: 1911 Ordnance Survey plan (not to scale)

Farmhouse highlighted in blue, ice houses in red.

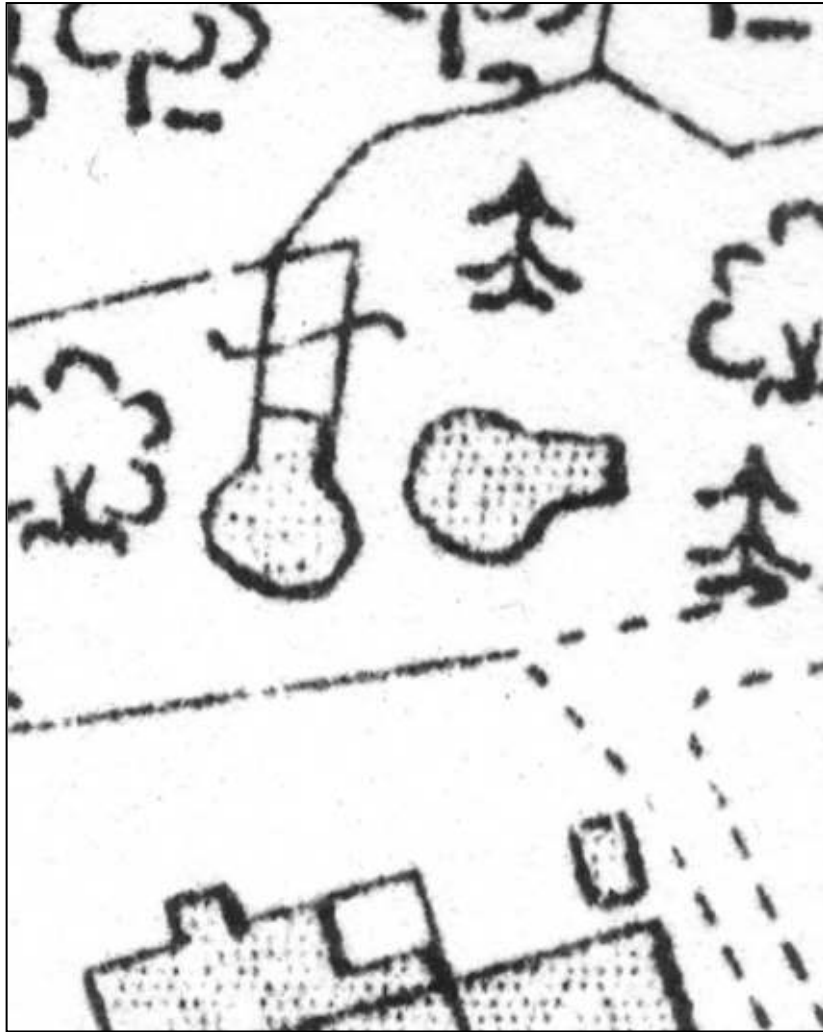


Figure 12: Detail of 1911 OS Plan

### 8.7 Aerial Photographic Evidence

The collection of aerial photographs held by the National Monuments Records dating from 1943 to the present day were examined. No trace of any structure was observed in the location of the possible ice house.

### 8.8 Location of Structure

In an email dated 14/09/2011 Mr Hale states that:

*Both the planning officer in the previous report and the conservation report show the position of the building in two different places. If the correct location were chosen they would find a domed construction below the surface. I can categorically confirm there is an ice house on the boundary and it is not in the position indicated in the report.*

Unfortunately he does not indicate on a plan what he considers the correct location of the Ice House to be.

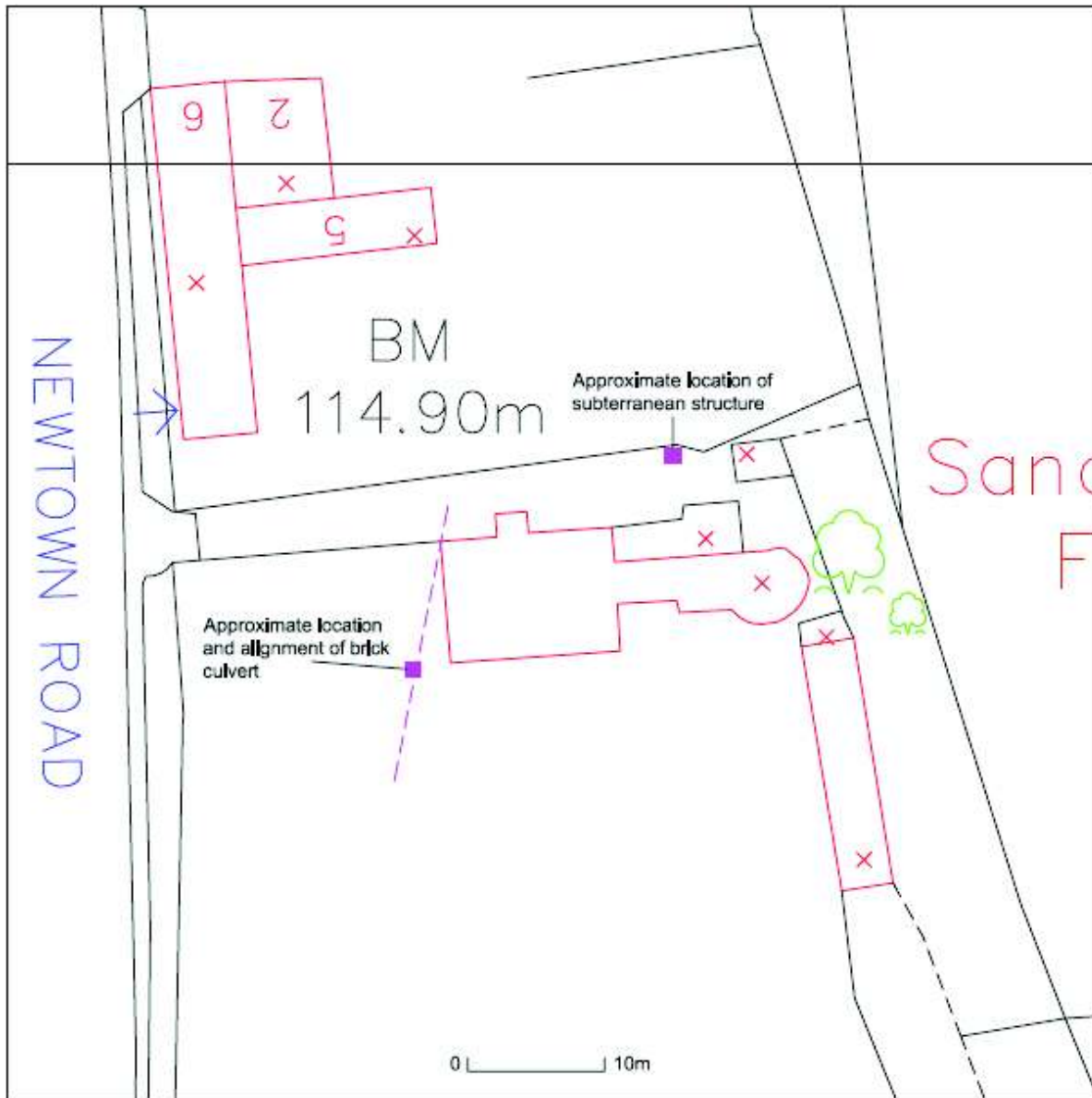


Figure 13: Locations of culvert and domed structure (1:500, locations approximated by Duncan Coe)



Figure 14 Plan with annotations made by West Berkshire Council's Archaeologist.



# INDEX MAP PLAN



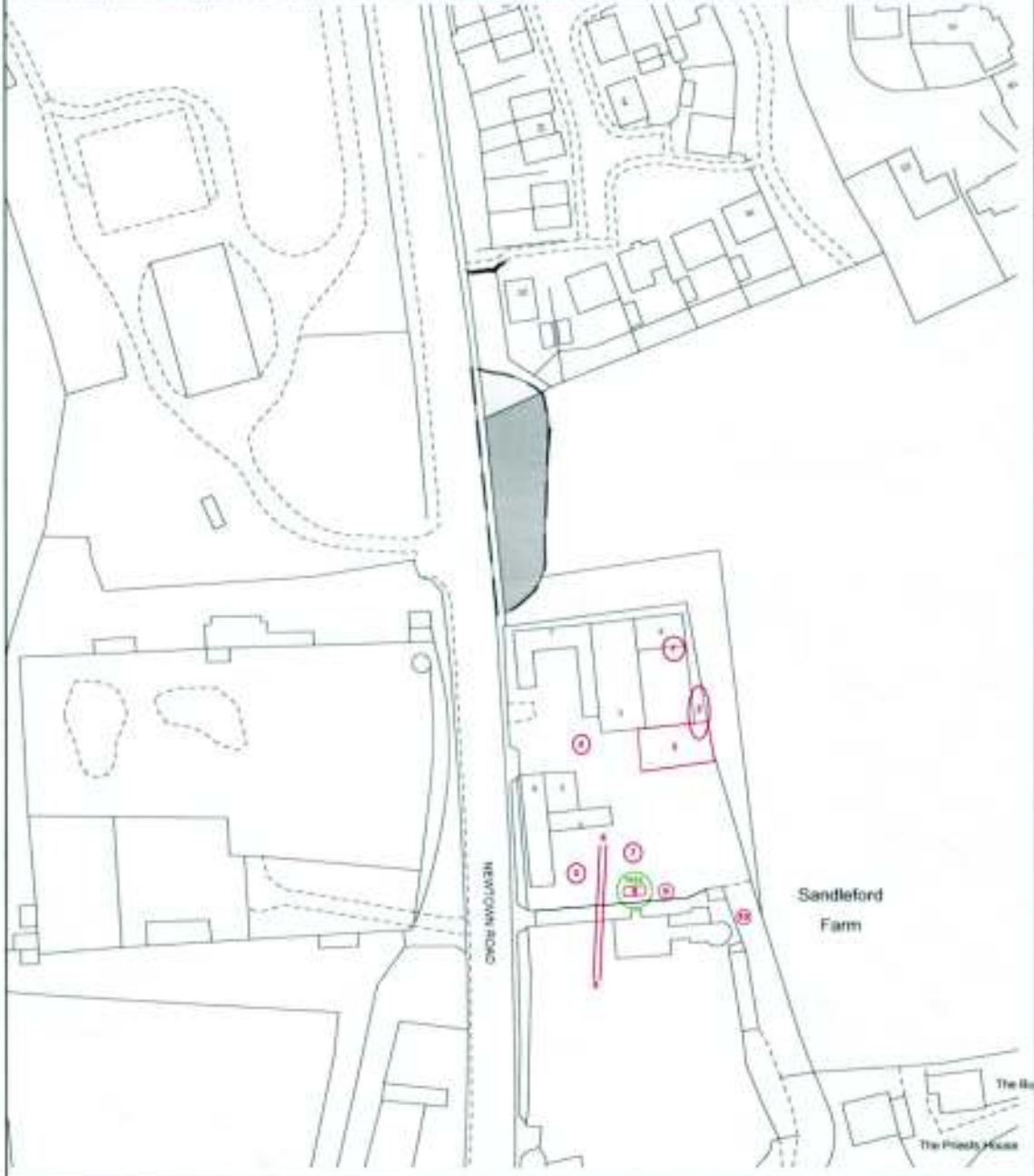
Plan prepared on 10/02/2006 at 00:00:01

ORDNANCE SURVEY MAP REFERENCE:

SU1764NE

SCALE 1:1250

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This plan should be read in conjunction with result W06CZEB

## 8.9 Discussion of the Ice House

The evidence for an ice house being present is as follows:

- There is a second-hand description by a former resident of an ice house being present.
- Some brickwork was found in the right location.

The evidence against an ice house being present is as follows:

- Location - it is located unusually far from the main house.
- It would be too close to the farmhouse – bearing in mind there is likely to have been an associated substantive mound on top of it.
- An ice house or similar structure is not shown on the historic mapping, however not all ice houses were mapped.
- There is an extant boundary wall in the position of the brick structure.
- Construction – the brick structure is located entirely below ground, whereas ice houses are constructed only partially below ground.
- There is no evidence for an entrance passage.
- Possible ice houses are recorded on the Ordnance Survey mapping located closer to the Priory buildings. These may be the source of the verbal descriptions noted above.

Owing to the lack of recording of the investigations, it is difficult to interpret the findings based on the known evidence. Descriptions do not suggest an ice house as the structure is located entirely below ground. It is unknown as to what the brick structure represents, and an ice house cannot be ruled out, however further investigation would be required to clarify the matter.

The verbal record of an ice house is considered likely to relate to the structures visible on Ordnance Survey mapping to the northwest of Sandleford Priory, however the presence of a brick structure adjacent to the farmhouse does suggest it may have some element of truth in its initial interpretation.

## 8.10 How The Structure Should Be Treated.

The procedures for dealing with archaeological structures are stated in PPS 5.

The proposed development will not disturb the structure: no new building is proposed near the boundary and there will be no reduction of the ground. The structure will therefore be physically preserve in situ. Thus no investigation prior to the determination of the planning application is necessary.

There is the possibility that there may be a requirement to stabilise the ground in the vicinity of the structure.

In this eventuality the following methodology will be adopted.

1. The structure will be located using either geophysical survey or archaeological excavation.
2. The structure revealed will be recorded.
3. The ground will be stabilised.

## 9. Historic Maps

### 9.1 Methodology

A variety of maps are presented in the map regression analysis that have been obtained, copied and digitised in a variety of ways and in addition certain conventions have been chosen. The following paragraphs list these conventions.

#### **Map Date**

The published map date is used.

#### **Scale**

The map has been rescaled to 1:1000 when the map is detailed enough to warrant this. This is achieved by applying a change of scale factor to the published scale. For maps that have been photographed a similar method is used but by measuring a distance on the historic map compared to a measured map. Such scaling is marked “approximate scaling” that is the scaling is within  $\pm 10\%$ . Where a map cannot be scaled with certainty within  $\pm 10\%$  it is marked “not to scale”. For smaller scales the maps are rescaled to approximately 1:2500 or 1:5000.

#### **Distortion**

Where a map has been distorted by photography or similar the map is corrected using photo-rectification software where this assists the interpretation of the map.

#### **Locations of the Buildings**

It is conventional to mark the location of the building or site by edging the boundaries in red. This convention is not followed, as by definition it will obscure the mapping of the boundaries. Instead there are arrows that point to the position of the building.

#### **GIS corrected Maps**

The use of digital historic maps which have been corner corrected so that they fit OS digital data are avoided as far as possible.

#### **Map North**

Maps are presented with North at the top of the page. No correction is made so that the maps line up with Grid North not true North.

#### **Errors**

We regularly come across errors in mapping. These are discussed in the text and how we have investigated them.

#### **Overlays**

Where a map is overlaid onto OS data this is to be regarded as indicative not exact. The maps are adjusted so that the detail that is being considered matches OS data this will include:

1. Correct so that the historic map is orientated on grid north.
2. Scale

No attempt is made to correct for map projection.

The following table lists the maps used, how they have been copied and digitised, and why they are included in the map regression exercise.

Date	Map	How copied and digitised	Reasons for Including	Level of Detail
1761	John Rocque	Photocopy and flatbed scan	First map showing Sandlesford	Low – buildings are symbolic
1817	OS Inch to Mile	Flatbed scan of reproduction	Early accurate mapping	Low – buildings are symbolic
1870	Estate Map	Photograph of original	Accurate map of the Sandlesford estate	Fair
1877	OS 1:10560	Photocopy and flatbed scan	First consistent map	Fair – buildings although symbolic are accurate
1900	OS 1:1250	Photocopy and flatbed scan	Detailed mapping	High – more or less modern specification
1911	OS 1:2500	Photocopy and flatbed scan	Detailed mapping	High – more or less modern specification
1934	OS 1:2500	Photocopy and flatbed scan	Detailed mapping	High – more or less modern specification
1969	OS 1:2500	Photocopy and flatbed scan	Detailed mapping	High – more or less modern specification
2006	OS 1:2500	Digital OS map	Modern Layout	High

### Abbreviations

OS Ordnance Survey

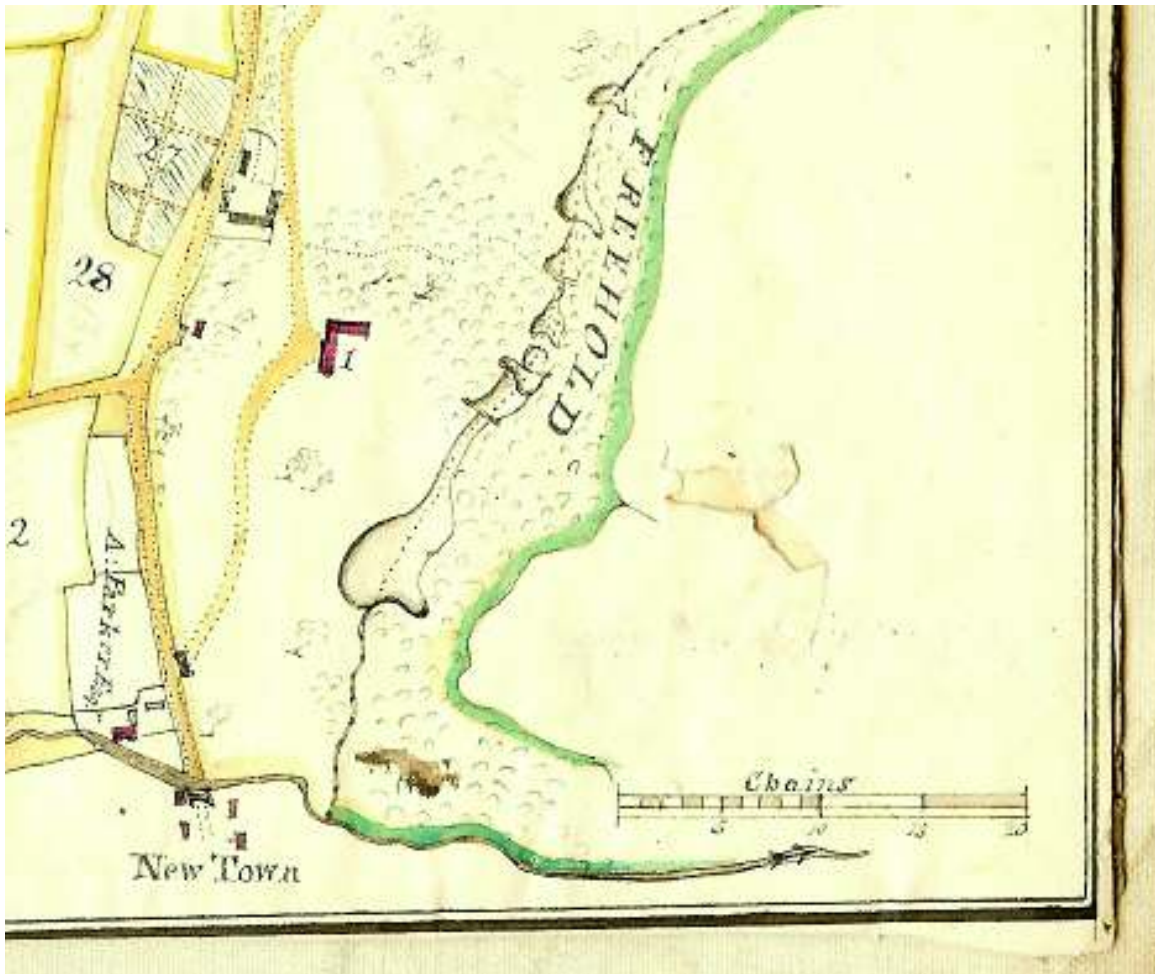
## 9.2 1761, John Rocque



**Figure 15: John Rocque's 1761 Map (not to scale)**

John Rocque's map shows buildings to the east of the road. They do not, however, bear any resemblance to those present today and cannot be precisely located on modern maps.

### 9.3 1805 Estate Map



**Figure 16 The 1805 Estate Map**

The basic starting point for interpreting historic, pre Ordnance Survey, maps is identifying buildings which must have been present when the surveying for the map was undertaken. In the case of the Estate Map, there are two such buildings:

1. The Priory
2. The Swan public house (Taken to be one of the buildings south of the river and east of the road: it is assumed it is the northerly most building)

Keys and symbol sets are rarely published but do follow unrecorded conventions. In this case houses are coloured red and other buildings are coloured black.

The north arrow shown on the Estate Map is magnetic north in 1800. The position of magnetic north varies and is called magnetic variation. This is also different from true north and grid north used on OS maps.

The Priory is depicted as being on a bearing of 13 degrees from The Swan when in fact it is due North. The Estate Map shows the Priory to be orientated at 6 degrees while it is actually orientated at 340 degrees (using grid north).

The Estate Map shows that the Priory is 22 chains (446m) away from the Swan when the correct distance is 486m.

Thus it is clear that there are angular and distance errors on the Estate Map.

Sandleford Priory is shown as being 2.7 chains long or 59.9 yards or 55.2m whereas in fact it is 41m long. Similarly the distance of the Priory to the Road is again in error by about 20%.

The Estate Map shows a building to be present at a distance of 8 chains (162m) on a bearing of 334 degrees. The farmhouse is located 152m away and Unit 7 183m (measured from the North-West corner of the Priory as it was in 1800 to the nearest point of the other buildings.)

Thus if the Estate Map is rescaled and orientated so that the Priory and The Swan are in their correct positions it can be seen that neither the Farmhouse nor the Buildings that constitute Gilson Engineering are present.

The only logical conclusion that can be drawn is that this map cannot be used as evidence for any building being present without collaborating evidence and on a balance of probabilities these buildings are not present.

#### 9.4 1817 Ordnance Survey Inch to Mile



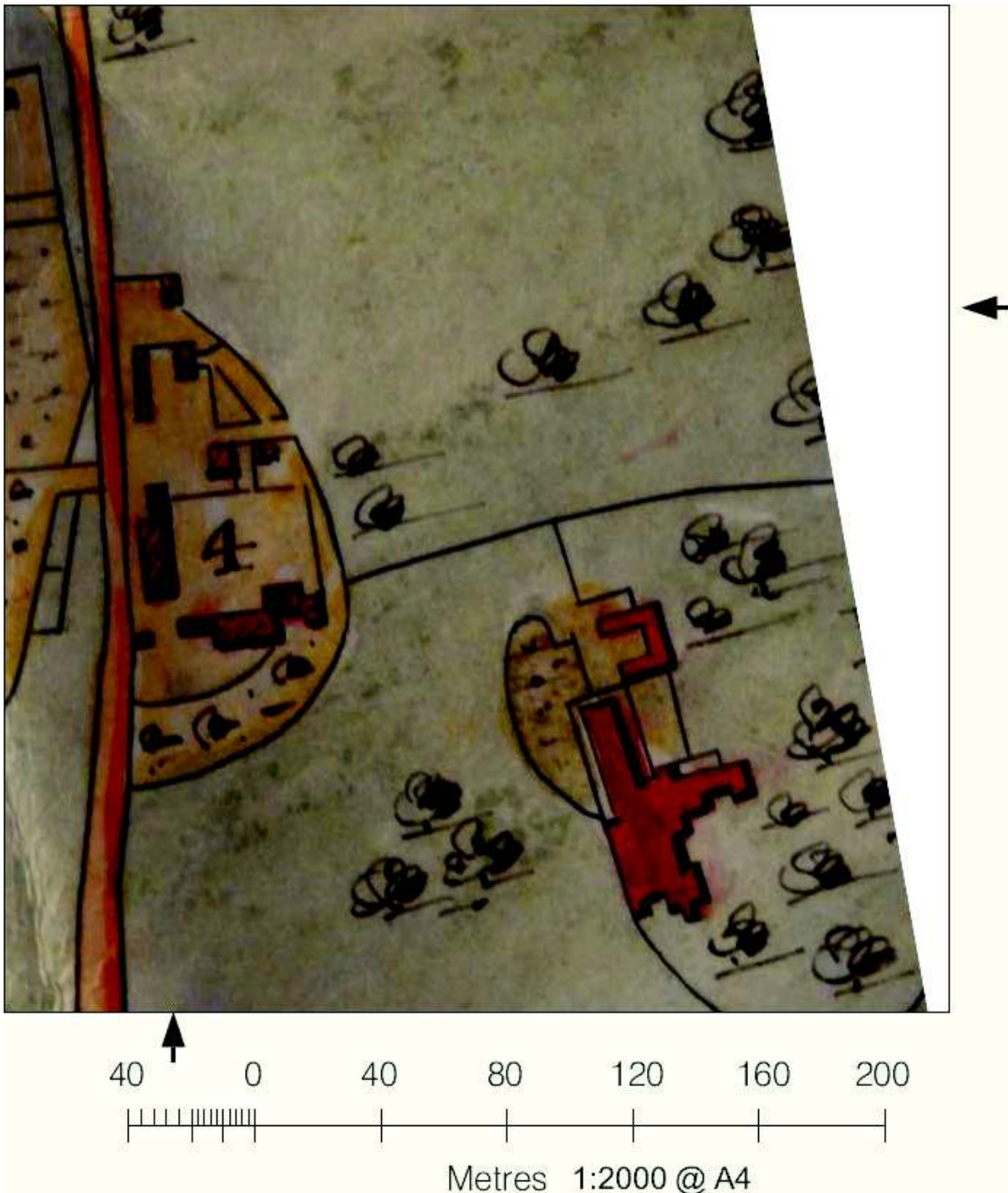
The First Edition 1 inch to 1 mile Ordnance Survey Maps represent the first consistent accurate mapping of England. The presence of buildings is recorded with symbols. The map which covers Sandlesford was published in 1817.

This shows the Priory to be present and more or less due west of it other buildings are shown. The buildings east of the road are within their own enclosure and to the north there is another enclosure with no buildings. To the west of the road buildings are present.

The northern boundary to the enclosure is approximately mid way between what must be the walled gardens on the opposite side of the road. The farmhouse is known to have been constructed by the date of this map and must therefore be shown and thus the northernmost of the buildings shown must therefore be the farmhouse. No buildings are immediately adjacent to the road.

The form of the southern enclosure, which includes the only buildings present on the eastern side of the road other than the Priory, is the same shape as the plot of land which surrounds the farmhouse.

## 9.5 1870 Estate Map

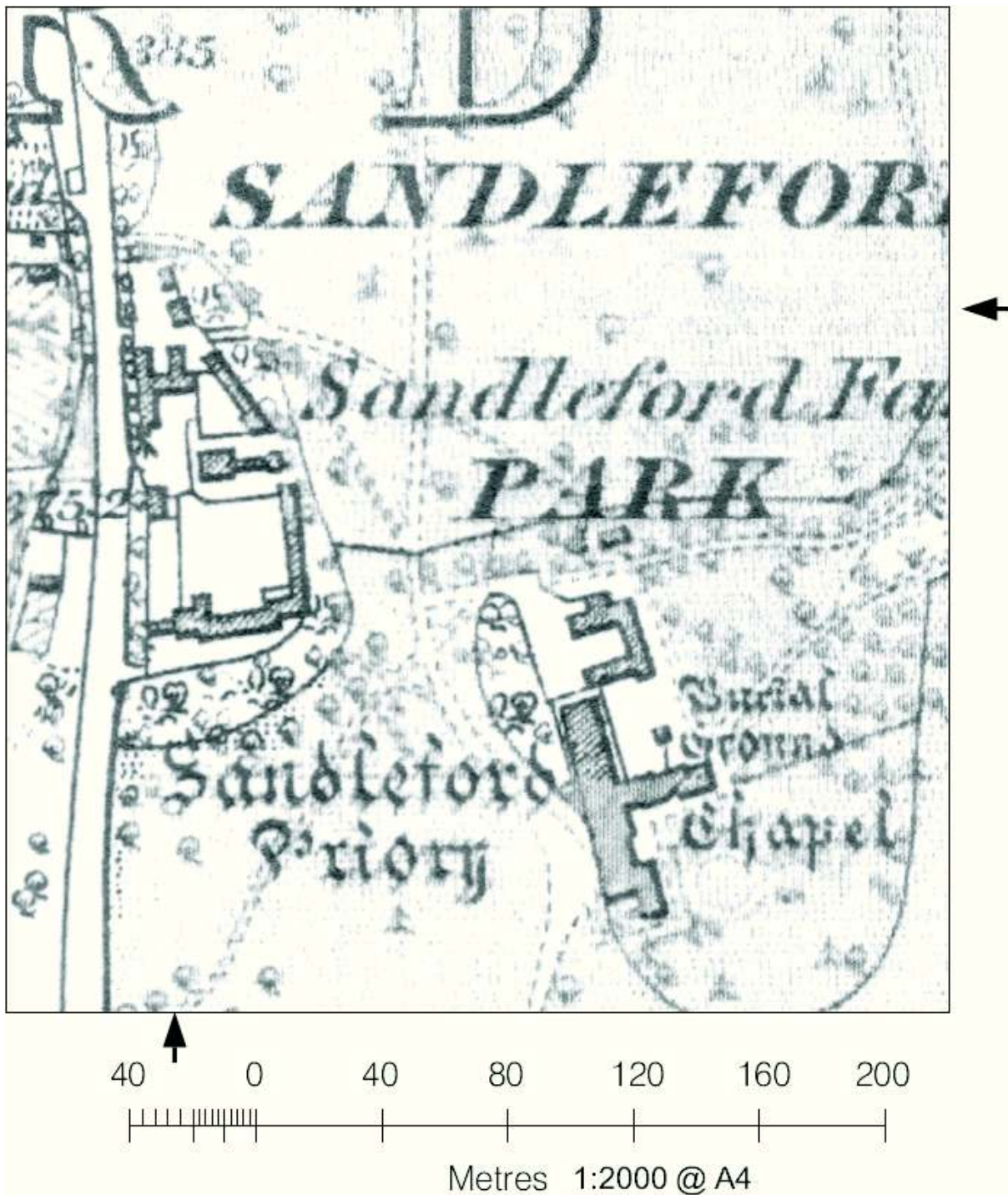


**Figure 17: 1870 Estate Map**

Since the 1832 Tithe Map was produced the barn on the application area (units 4 and 7) has been built.

The farmhouse is the square building located to the north of the number 4, the number itself located in the previous farmyard, prior to its move to the north as mentioned above. It is noted that the north-south gap between the line of the northern wall of the farmhouse and the southern limit of unit 7 is present. In addition two other agricultural buildings have been constructed to the north of the farm house.

## 9.6 1877 Ordnance Survey 1:10560

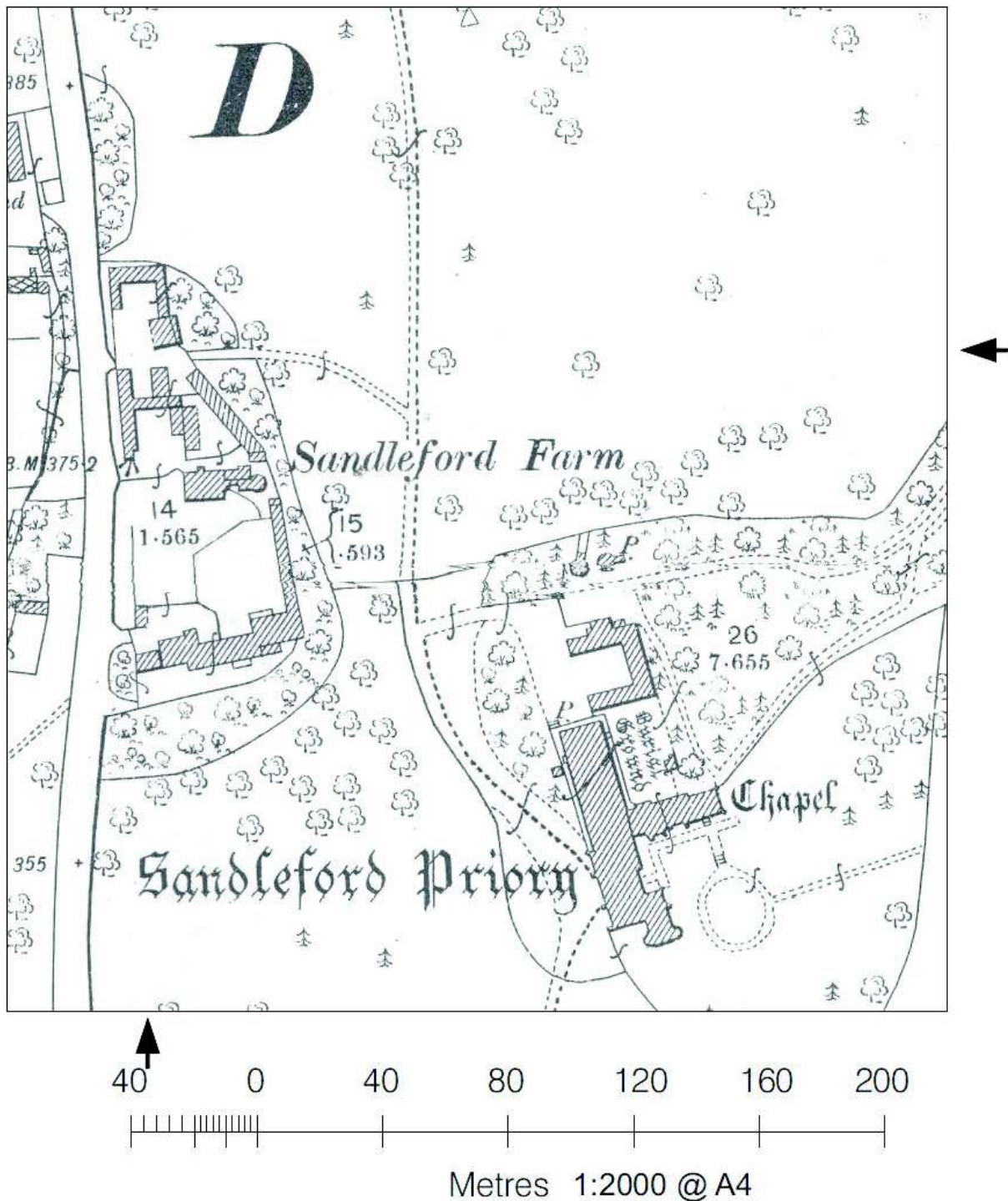


**Figure 18: 1877 Ordnance Survey 1:10560**

The farmhouse now has a structure built on its eastern side. More buildings have been constructed around the current farm including a building in the location of unit 6 and an angled range running northwest-southeast to the east of unit 5.

The layout of the earlier farmyard to the south has changed with the removal of the building to the west and the construction of a range to the east.

## 9.7 1900 Ordnance Survey 1:2500

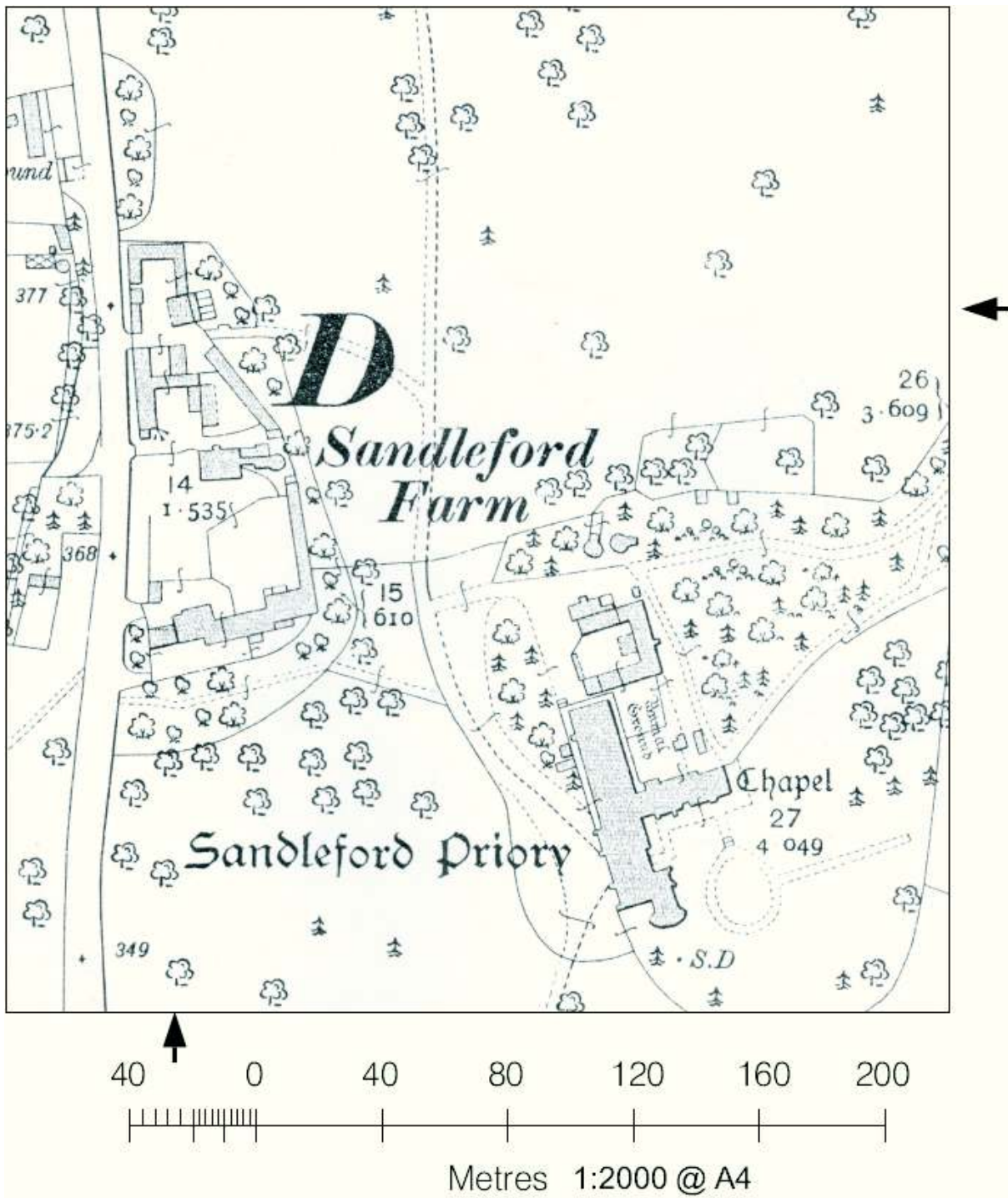


**Figure 19: 1900 Ordnance Survey 1:2500**

By 1900 the farmyard had been enlarged and more buildings had been constructed to the north, including units 1 and 2, and others joined to the southern end of unit 6.

The older part of unit 3 is possibly represented by the north-south building to the east of unit 2. At its southern end, an open-fronted building is present.

## 9.8 1911 Ordnance Survey 1:2500



**Figure 20: 1911 Ordnance Survey 1:2500**

At the northern end of the site, a building is present south of unit 1. The open-fronted building to the east has a row of pens present to its rear.

9.9 1934 Ordnance Survey 1:2500

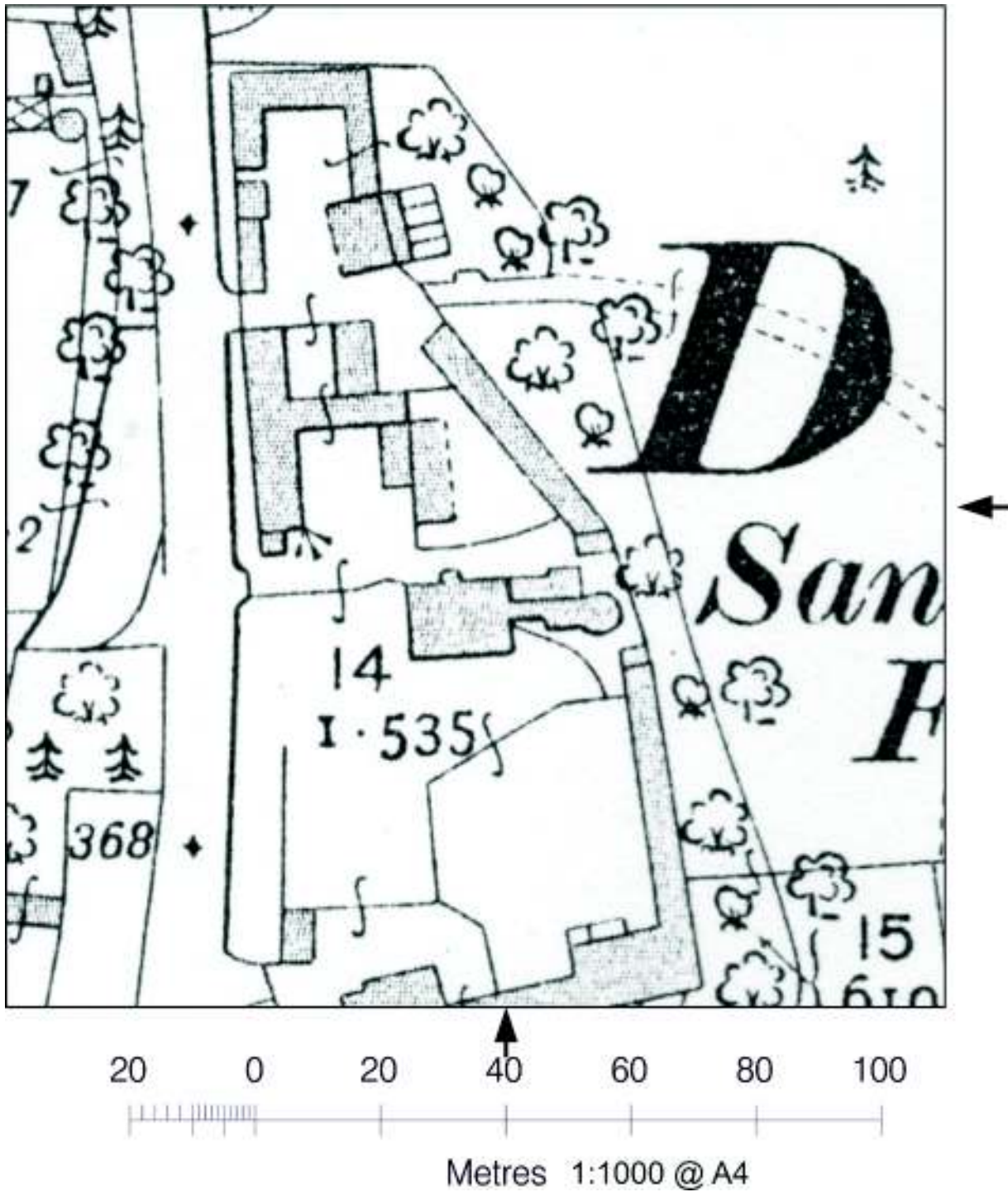
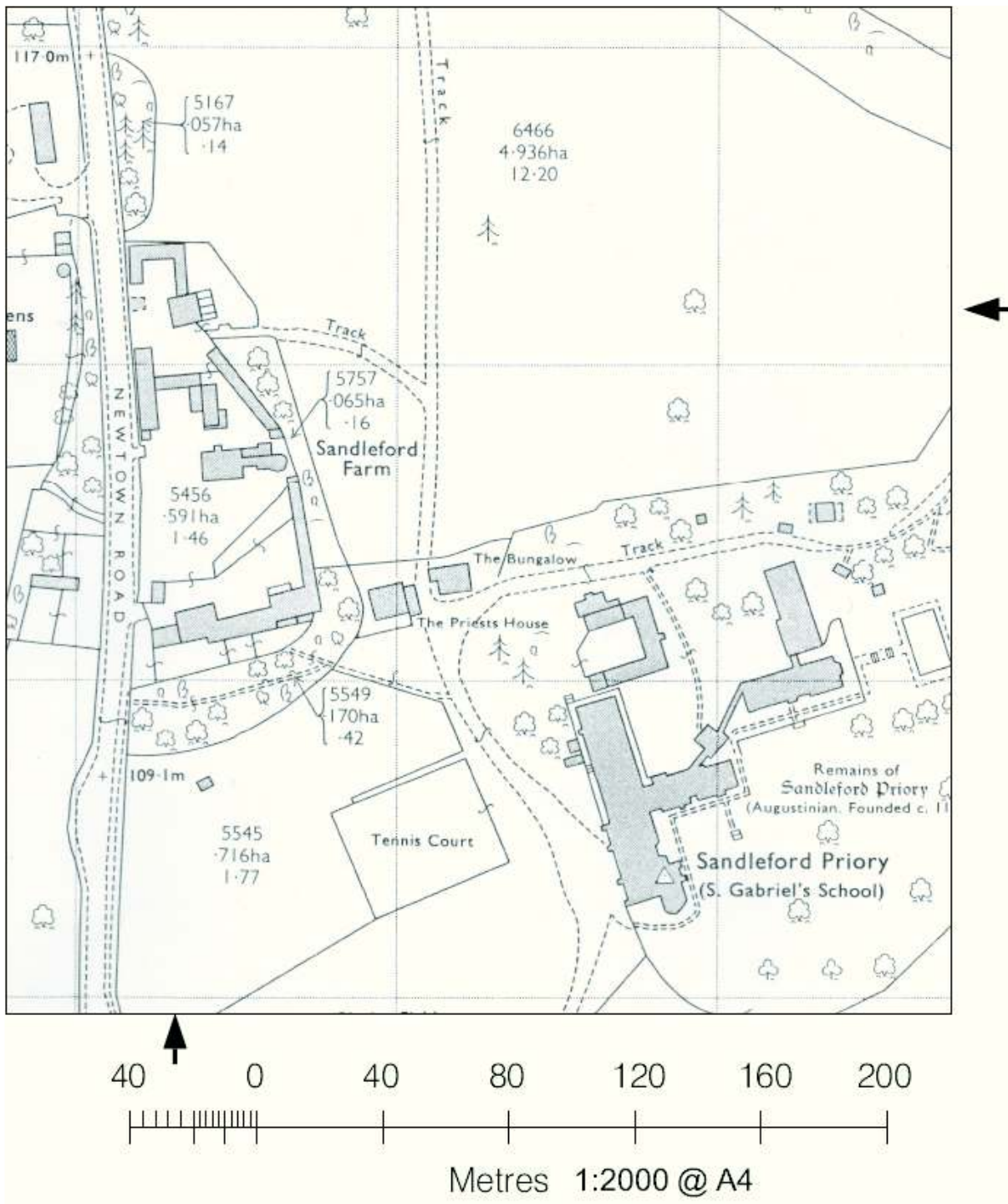


Figure 21: 1934 Ordnance Survey 1:2500

The building to the south of unit 1 has been removed.

The buildings to the south of the eastern end of unit 6 have been extended to the south.

## 9.10 1969 Ordnance Survey 1:2500



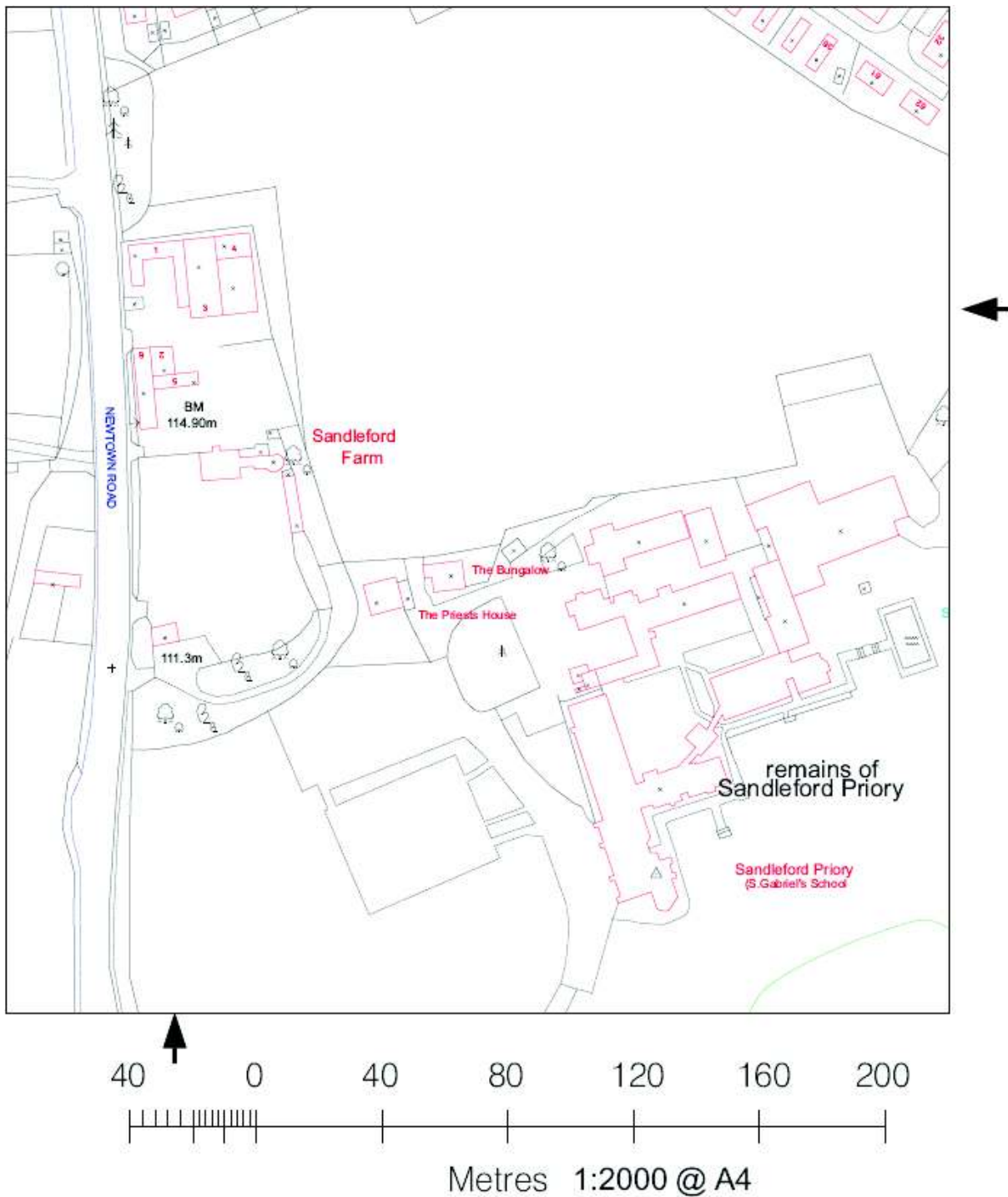
**Figure 22: 1969 Ordnance Survey 1:2500**

The building situated midway along the northern side of building 6 is now absent.

The benchmark indicated on the southern end of building 7 is also absent.

To the south, 'The Bungalow' and 'The Priest's House' have been constructed and the school, now labelled as such, has been extended to the east.

## 9.11 2006 Ordnance Survey 1:2500

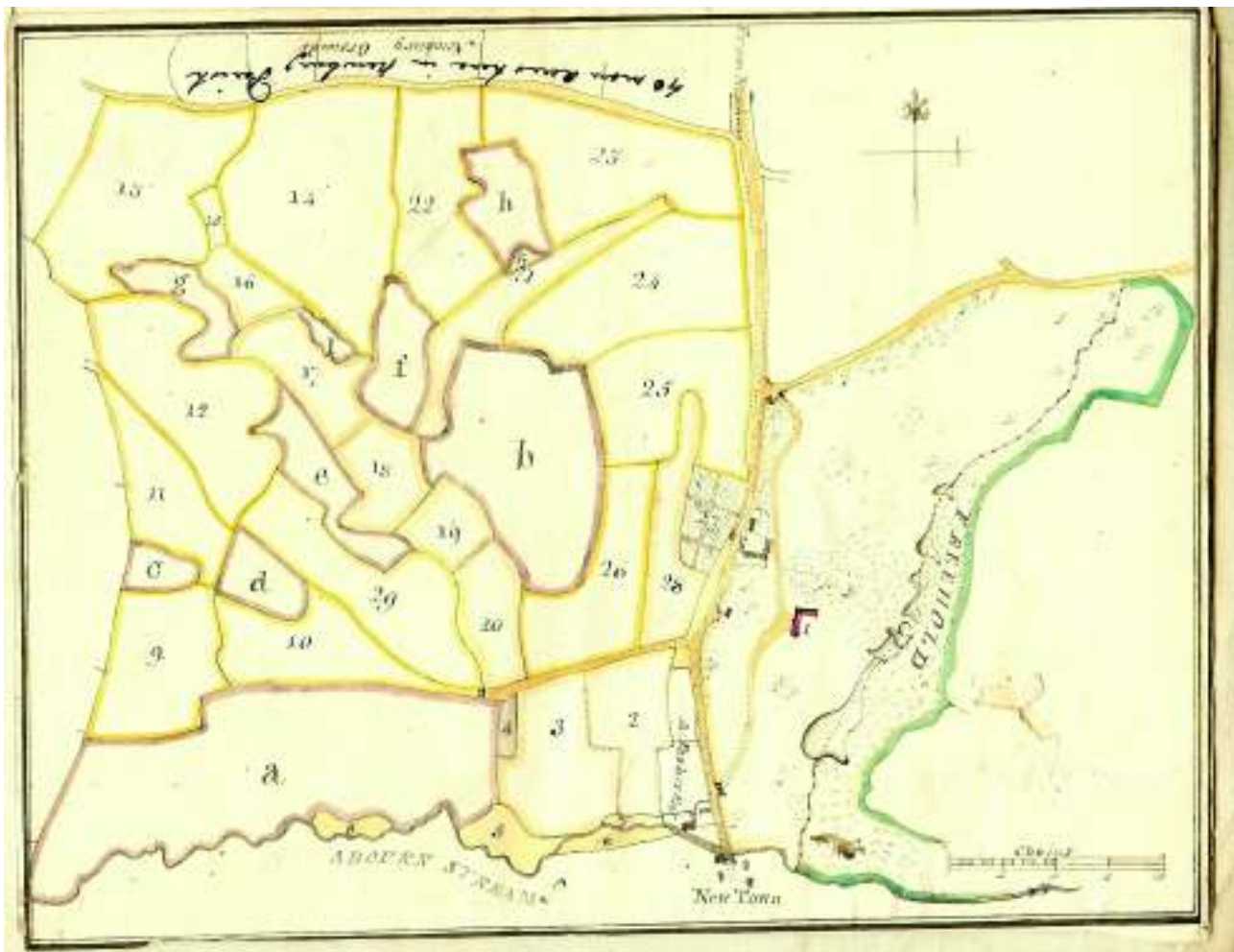


**Figure 23: 2006 Ordnance Survey 1:2500**

Since 1969 most of the agricultural buildings that made up the farmyard have been demolished and the new industrial buildings erected. The remaining buildings of the earlier farmyard, to the south of the present assemblage, have also been demolished.

In addition modern housing to the north has been constructed and numerous buildings have been erected at the school.

## 9.12 1805 Estate Map



**Figure 24: 1805 Estate Map (not to scale)**

It is difficult to interpret the 1805 Estate Map as an incorrect scale has been drawn on the original.

The basic starting point for interpreting historic, pre Ordnance Survey, maps is identifying buildings which must have been present when the surveying for the map was undertaken. In the case of the Estate Map, there are two such buildings:

- a) The Priory
- b) The Swan public house (Taken to be one of the buildings south of the river and east of the road: it is assumed it is the northerly most building)

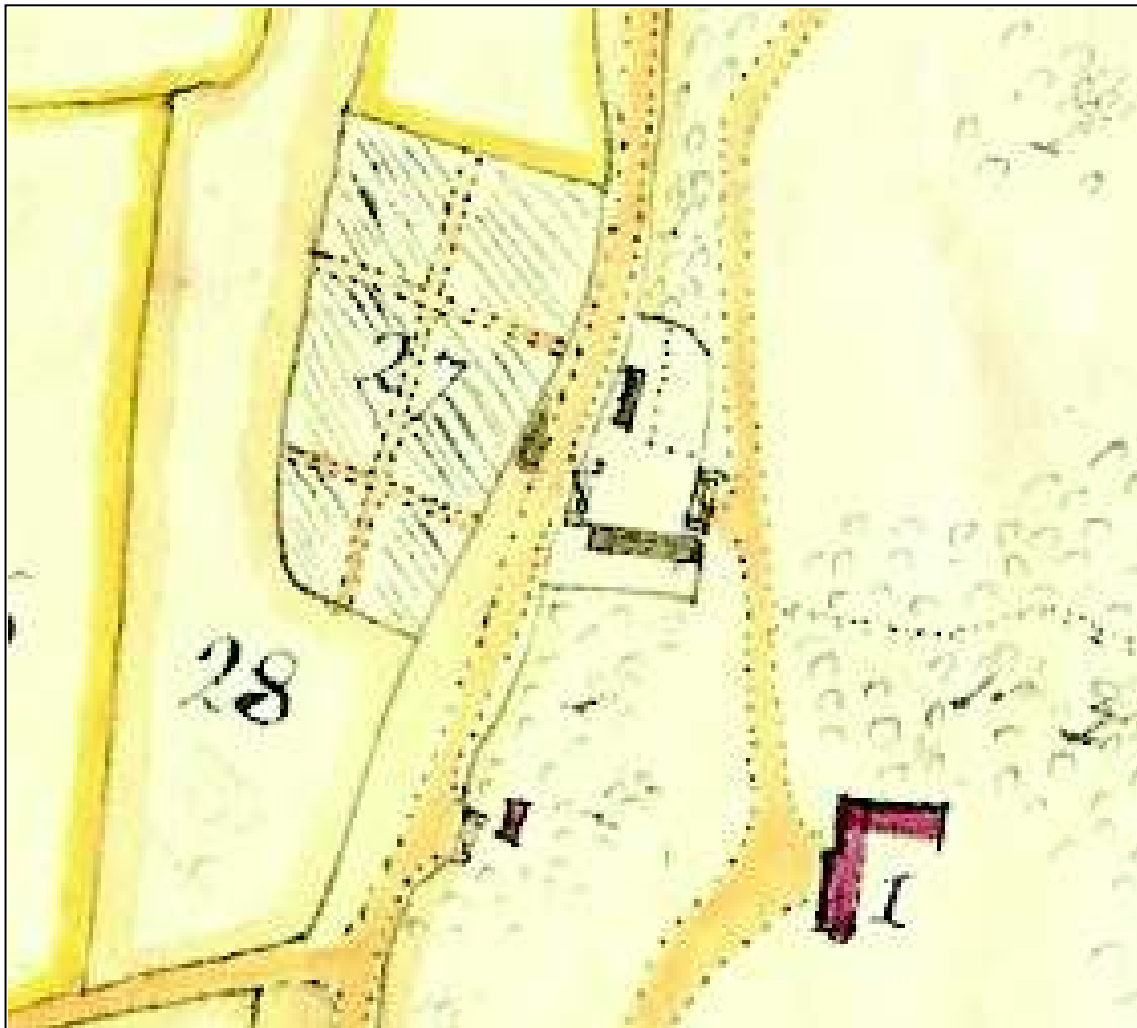
Keys and symbol sets are rarely published but do follow unrecorded conventions. In this case houses are coloured red and other buildings are coloured black.

The north arrow shown on the Estate Map is magnetic north in 1800. The position of magnetic north varies and is called magnetic variation. This is also different from true north and grid north used on OS maps.

The Priory is depicted as being on a bearing of 13 degrees from The Swan when in fact it is due North. The Estate Map shows the Priory to be orientated at 6 degrees while it is actually orientated at 340 degrees (using grid north).

The Estate Map shows that the Priory is 22 chains (446m) away from the Swan when the correct distance is 486m.

Thus it is clear that there are angular and distance errors on the Estate Map.



**Figure 25: Detail of 1805 Estate Map (not to scale)**

Sandleford Priory is shown as being 2.7 chains long or 59.9 yards or 55.2m whereas in fact it is 41m long. Similarly the distance of the Priory to the Road is again in error by about 20%.

The Estate Map shows a building to be present at a distance of 8 chains (162m) on a bearing of 334 degrees. The farmhouse is located 152m away and Unit 7 183m (measured from the North-West corner of the Priory as it was in 1800 to the nearest point of the other buildings.)

Thus if the Estate Map is rescaled and orientated so that the Priory and The Swan are in their correct positions it can be seen that neither the Farmhouse nor the Buildings that constitute Gilson Engineering are present.

The only logical conclusion that can be drawn is that this map cannot be used as evidence for any building being present without collaborating evidence and on a balance of probabilities these buildings are not present.



## 10. The Curtilage of Sandleford Farmhouse.

### 10.1 Introduction

In the Report to Committee for planning application 10/01375/FULD dated 4/Aug/2010 the planning officer stated that:

*Secondly, the Council's Conservation Officer has stated that, whilst the farmyard was originally within the curtilage of the farm house, this actual and functional link has since been lost over many years, so no basis for curtilage listing is justified.*

It has now been suggested by West Berkshire Council that Gilsons Engineering Works lies within the Curtilage of Sandleford Farmhouse. The following pages consider all the evidence for what the curtilage of the Farmhouse and Dairy Actually is. If the Farmyard in whole or in part is within the curtilage then structures which predate 1948 are protected.

The Planning (Listed Buildings and Conservation Areas) Act 1990 states that:

(5)In this Act "listed building" means a building which is for the time being included in a list compiled or approved by the Secretary of State under this section; and for the purposes of this Act:

- (a)any object or structure fixed to the building;
  - (b)any object or structure within the curtilage of the building which, although not fixed to the building, forms part of the land and has done so since before 1st July 1948,
- shall be treated as part of the building.

When the listing legislation was introduced it was recognised that there were a great number of buildings which were worthy of protection within the curtilage of historic buildings. Protecting everything within the curtilage was deemed to be a quick, easy and convenient method of protecting them. In fact it has been stated policy that eventually all curtilage structures would be individually assessed.

### 10.2 Definition of Curtilage

Curtilage is not formally defined in law and has been defined by case law. The following commentary was written by the Head of Legal Services at English Heritage.

Hewitson, N., 2005, *Legal Developments The Extent of Listing*, Conservation Bulletin 48, 42 commented as follows:

#### **What is the curtilage of a building?**

In Attorney-General ex rel Sutcliffe and Hughes v Calderdale Council (1983) 46 P&CR 399, the Court of Appeal held that the following issues are relevant to a consideration of whether a building is in the curtilage of another:

- (a) their physical layout,
- (b) their past and present ownership, and
- (c) their past and present function and use.

The primary focus of the inquiry, however, should be at the date of listing, not its earlier history (*Morris v National Assembly for Wales* – unreported). The important features to consider are the proximity and accessibility of the buildings and whether one is ancillary to the other in terms of function and ownership and occupation at the date of listing. However, case law offers little guidance beyond setting out the factors to be taken into account, and each case will need to be considered on its own merits.

Planning Policy Guidance 15: Planning and the Historic Environment offers, at paragraphs 3.34 and 3.35, an overview of the case law and this helpful nugget: ‘Where a self-contained building was fenced or walled off from the remainder of the site at the date of listing, regardless of the purpose for which it was erected and is occupied, it is likely to be regarded as having a separate curtilage.’

Thus, one building will be in the curtilage of another if, at the date of listing, there was a clear relationship between the buildings: specifically, that one was ancillary to the use of the other, the buildings had common ownership or occupation and were not physically fenced off from each other.

### **10.3 Date of Buildings**

Buildings have to pre-date 1948 to be protected by virtue of being within the curtilage of a listed building. The buildings which are considered to pre-date 1948 are shown on the following plan.

### **10.4 Common Ownership**

The buildings were in common ownership at the time of listing.

### **10.5 Fenced Off**

A fence is present on the 1969 OS plan suggesting that buildings 1 & 2 that it is likely that are not in the curtilage of the farmhouse in any event.

### **10.6 Ancillary Use**

The crux of the matter is - are farm buildings in a courtyard Victorian Farm ancillary to the Farmhouse in any event? It is suggested that with the advent of model farms the role of the farmhouse was less important to the farm and was often located some distance away from the farm itself. See Wade Martins S, 2002, *The English Model Farm*, Windgather Press (English Heritage), Bollington. Clearly the farm could operate without the farmhouse.

An email from Graham Smith, who occupied the buildings at the time of listing, states the following:

*Firstly the former owners of Sandleford Farmhouse are both deceased. The buildings ie the cowshed...to the south of the house remained in use for calf rearing until the demise of Mr . Butler in 1986....who had farmed here. The buildings to the north known as the Majors Yard and sited behind a fence that was erected prior to listing were in use as a store for agricultural machinery and also as a base for a joinery business that became Sandleford Products. It should be mentioned that the Majors Yard was in fact always a storage and repair facility for carts and waggons owned by the Priory when in private hands. It was also taken over during the war as a preparation depot for vehicles to be used in the D Day landings.*

It is thus suggested that none of the buildings were ancillary agricultural buildings to the Farmhouse at the time of listing.

## **11. The Impact on The Setting of Nearby Heritage Assets**

### **11.1 Setting**

The Planning (Listed Buildings and Conservation Areas) 1990 Act states:

*7 Restriction on works affecting listed buildings*

*Subject to the following provisions of this Act, no person shall execute or cause to be executed any works for the demolition of a listed building or for its alteration or extension in any manner which would affect its character as a building of special architectural or historic interest, unless the works are authorised.*

*16 (2) In considering whether to grant listed building consent for any works the local planning authority or the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.*

*66.—(1) In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.*

However, the Act is silent on what the definition of setting actually is and thus precisely what is being referred to and thus protected. Planning Policy Statement 5 Planning for the Historic Environment defines setting as follows:

*The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.*

However this interpretation contradicts the most recent court judgement on the definition of setting in that “in that setting is a visual concept” paragraph 98 R. (on the application of K. Miller) v. North Yorkshire County Council [2009] EWHC 2172 (Admin.)

PPS 5 contains the following policy:

### **POLICY HE10: ADDITIONAL POLICY PRINCIPLES GUIDING THE CONSIDERATION OF APPLICATIONS FOR DEVELOPMENT AFFECTING THE SETTING OF A DESIGNATED HERITAGE ASSET**

*HE10.1 When considering applications for development that affect the setting of a heritage asset, local planning authorities should treat favourably applications that preserve those elements of the setting that make a positive contribution to or better reveal the significance of the asset. When considering applications that do not do this, local planning authorities should weigh any such harm against the wider benefits of*

*the application. The greater the negative impact on the significance of the heritage asset, the greater the benefits that will be needed to justify approval.*

*HE10.2 Local planning authorities should identify opportunities for changes in the setting to enhance or better reveal the significance of a heritage asset. Taking such opportunities should be seen as a public benefit and part of the process of placeshaping.*

The Practice Guide paragraphs 113-114 adds these key points:

- Setting is not just a matter of views
- The contribution a setting makes does not depend on public access
- All heritage assets have a setting.

The following PPS 5 Policies are also relevant

### **Assessing the significance of a heritage asset**

*54. Heritage assets may be affected by direct physical change or by change in their setting. Being able to properly assess the nature, extent and importance of the significance of a heritage asset and the contribution of its setting is very important to an applicant in order to conceive of and design a successful development and to the local planning authority in order to make decisions in line with the objectives of the PPS and the development plan.*

*POLICY HE10: Additional policy principles guiding the consideration of applications for development affecting the setting of a designated heritage asset*

### **Understanding setting and its contribution to significance**

*113. Setting is the surroundings in which an asset is experienced. All heritage assets have a setting, irrespective of the form in which they survive and whether they are designated or not. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance, or may be neutral.*

*114. The extent and importance of setting is often expressed by reference to visual considerations. Although views of or from an asset will play an important part, the way in which we experience an asset in its setting is also influenced by other environmental factors such as noise, dust and vibration; by spatial associations; and, by our understanding of the historic relationship between places. For example, buildings that are in close proximity but not visible from each other may have a historic or aesthetic connection that amplifies the experience of the significance of each. They would be considered to be within one another's setting.*

*115. Setting will, therefore, generally be more extensive than curtilage and its perceived extent may change as an asset and its surroundings evolve or as understanding of the asset improves.*

*116. The setting of a heritage asset can enhance its significance whether or not it was designed to do so. The formal parkland around a country house and the fortuitously developed multi-period townscape around a medieval church may both contribute to the significance.*

*117. The contribution that setting makes to the significance does not depend on there being public rights or an ability to access or experience that setting. This will*

*vary over time and according to circumstance. Nevertheless, proper evaluation of the effect of change within the setting of a heritage asset will usually need to consider the implications, if any, for public appreciation of its significance.*

A guiding principle of PPS 5 is as follows:

- *to conserve England's heritage assets in a manner appropriate to their significance by ensuring that:*
  - *decisions are based on the nature, extent and level of that significance, investigated to a degree proportionate to the importance of the heritage asset*
  - *wherever possible, heritage assets are put to an appropriate and viable use that is consistent with their conservation*
  - *the positive contribution of such heritage assets to local character and sense of place is recognised and valued; and*
  - *consideration of the historic environment is integrated into planning policies, promoting place-shaping.*

It thus follows when considering the desirability of preserving the “setting” that account must be taken of the level of significance of the “experience”.

The following analysis is based upon the following methodology:

1. Defining from where the asset can be experienced both by the public and from more restricted land.
2. Documenting what can be experienced and when this can be experienced.
3. Documenting what detracts from this experience.
4. Detractors are defined as:
  - a. Modern alterations to the building
  - b. Historic alterations which obscure the special character of the building
  - c. Non historic paraphernalia

To detract from the experience the detractor must be permanent or semi permanent.

English Heritage have recently published “See the History in The View: A method for assessing heritage significance within views” (Written 2008 Published 2011). This document is largely concerned with considering the visual impacts from formal viewpoints rather than assessing the impact on setting which encompasses other matters and the view from a heritage asset.

It also is considering the impact on established viewpoints which are designated as such in the London Development Framework. Indeed their worked example would be classed as “iconic” in the above grading. The method for Part 1 of the assessment has been tested on the Townscape View from City Hall to the Tower of London (designated view 25 in the LVMF 2007). This worked example was chosen because it is a designated view in the London Plan, it has particular heritage significance associated with it, and is a view of a World Heritage Site that is currently subject to change.

They suggest the following methodology:

1. Baseline Analysis which locates view points and what heritage assets are within them
2. Assessment of the significance of the heritage assets within the setting
3. Assessment of the impact of the development proposal.

The document includes the following tables.

**Value/importance of heritage assets in the view**

Level of Value	Definition
High	The asset will normally be a world heritage site, grade I or II* listed building, scheduled monument, grade I or II* historic park/ garden which is a central focus of the view and whose significance is well represented in the view.  The Viewing Place (and/or Assessment Point) may be a good place to view the asset and may be the only place from which to view that particular asset.
Medium	The asset will normally be a grade II listed building, grade II historic park/ garden, conservation area, a locally listed building or other locally identified heritage resource which is a central focus of the view and whose significance is well represented in the view.  The asset may also be a world heritage site, grade I or II* listed building, scheduled monument, grade I or II* historic park/ garden which does not form a main focus of the view but whose significance is still well represented in the view. In this case the Viewing Place (and/or Assessment Point) may be a good place, but not the best or only place to view the heritage asset.
Low	The asset may be a grade II listed building, grade II historic park/ garden, conservation area, a locally listed building or other locally identified heritage resource which does not form a main focus of the view but whose significance is still well represented in the view. In this case the Viewing Place (and/or Assessment Point) may not be the best or only place to view the heritage asset.

**Value/importance of the view**

Level of value	Definition
High	The view is likely to be a nationally or regionally important view (e.g. views in the LVMF, views identified in World Heritage Site Management Plans or designed views within Grade I or II* historic parks/gardens) and/or contain heritage assets such as world heritage sites, grade I or II* listed buildings, scheduled monuments, grade I or II* historic park/ gardens whose heritage significance is well represented in the view and which benefit from being seen in combination with each other.
Medium	The view is likely to be of importance at the County/Borough/District level (e.g. Metropolitan Views defined by London Boroughs or designed views within Grade II historic parks/gardens) and/or contain heritage assets such as grade II listed buildings, grade II historic park/ gardens, conservation areas, locally listed buildings or other locally identified heritage resources whose heritage significance is well represented in the view and which benefit from being seen in combination with each other. It may also be a view that contains heritage assets such as world heritage sites, grade I or II* listed buildings, scheduled monuments, grade I or II* historic park/ gardens whose heritage significance is clearly readable, but not best represented, in this particular view
Low	The view is likely to be a locally valued view (e.g. identified by individual communities) and contain heritage assets such as grade II listed buildings, grade II historic park/ gardens, conservation areas, locally listed buildings or other locally identified heritage resources whose heritage significance is clearly readable, but not best represented, in this particular view.

both the magnitude of impact and the value/importance of the resource as follows

	<b>:With High Value</b>	<b>With Medium Value</b>	<b>With Low Value</b>
<b>With High Magnitude of Impact</b>	Major effect	Major effect	Moderate effect
<b>With Medium Magnitude of Impact</b>	Major effect	Moderate effect	Minor effect
<b>With Low Magnitude of Impact</b>	Moderate effect	Minor effect	Negligible effect
<b>Negligible/Neutral Impact</b>	Negligible effect	Negligible effect	Negligible effect

### 11.2 “The Setting of Historic Assets”

In October 2011 English Heritage published the document “The Setting of Heritage Assets”. Which detailed their view set out in the PPS 5 Good Practice Guide. In particular they give a methodology for assessing the implications of development proposals. They suggest the following process:

- Step 1: identify which heritage assets and their settings are affected;
- Step 2: assess whether, how and to what degree these settings make a contribution to the significance of the heritage asset(s);
  - Step 3: assess the effects of the proposed development, whether beneficial or harmful, on that significance;
  - Step 4: explore the way of maximising the benefits

In addition they state that the key principles include:

*The design of a development affecting the setting of a heritage asset may play an important part in determining its impact. The contribution of setting to the historic significance of an asset can be sustained or enhanced if new buildings are carefully designed to respect their setting by virtue of their scale, proportion, height, massing, alignment and use of materials. This does not mean that new buildings have to copy their older neighbours in detail, but rather that they should together form a harmonious group. (121)*

- *A proper assessment of the impact on setting will take into account, and be proportionate to, the significance of the asset and the degree to which proposed changes enhance or detract from that significance and the ability to appreciate it. (122)*

### 11.3 Baseline Survey

The following heritage assets are present:

Asset	Designation	
Sandleford Park	II	Historic Park
Sandleford Priory	I	Building
Sandleford Farmhouse	II	Building
Sandleford Dairy	II	Building
Stable Block 10m from Sandleford Priory	II	Building

The Locations of The Designated Assets are shown on the following plan.

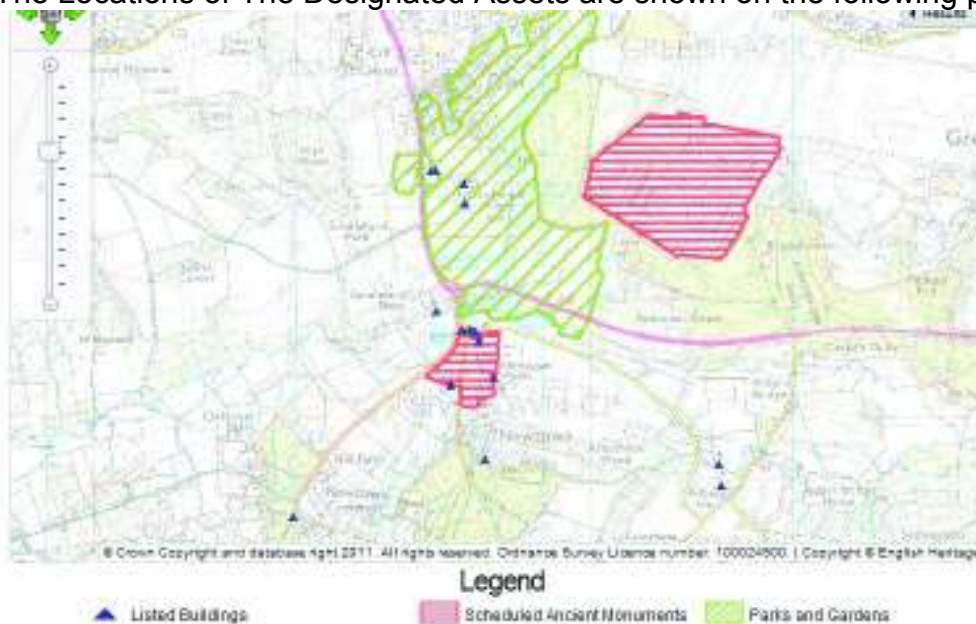


Figure 26: Plan Showing The Location of Designated Heritage Assets

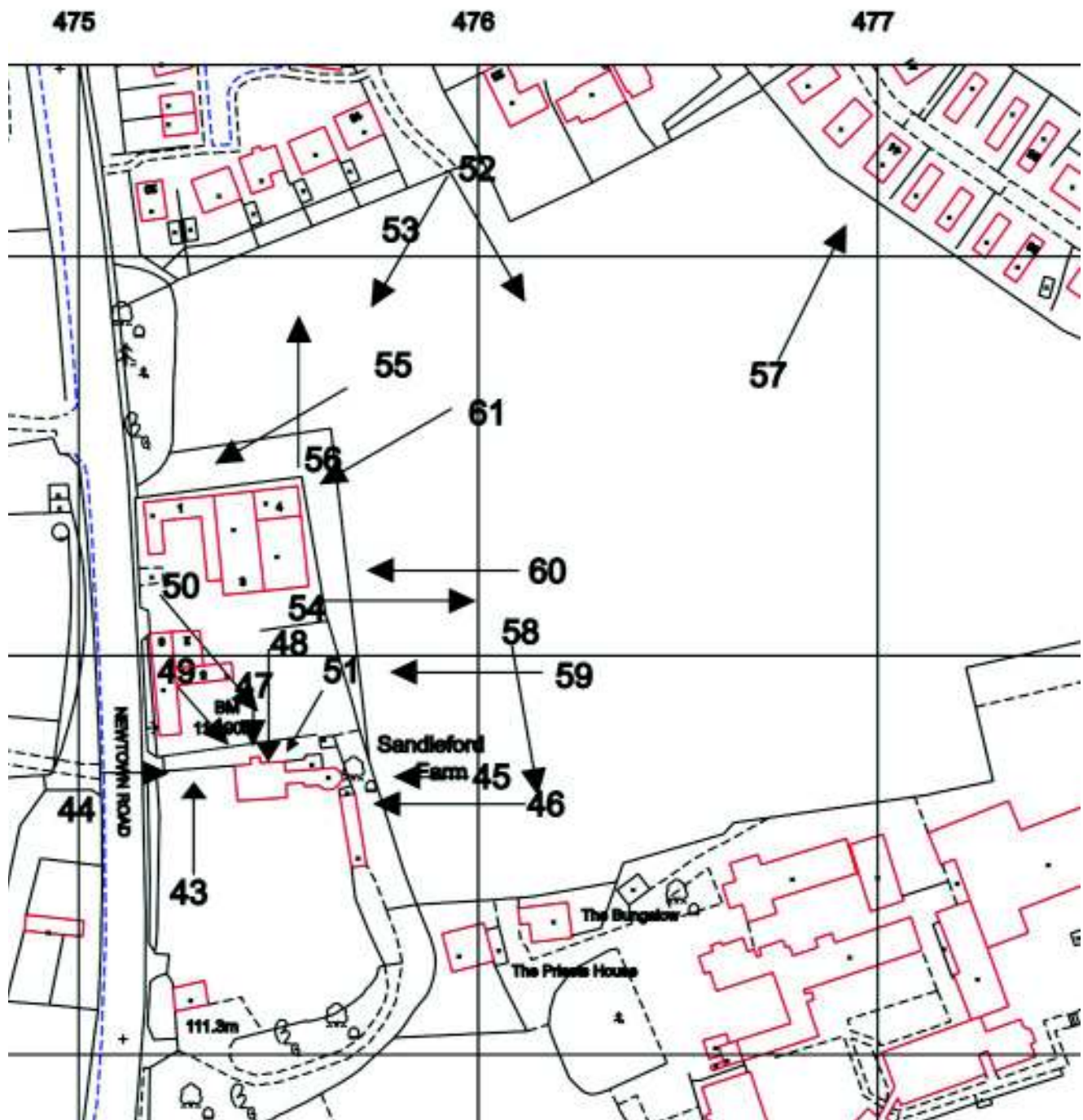


Figure 27: Plan showing the approximate locations of where photographs were taken

#### 11.4 Documenting the Setting of The Farmhouse and Dairy.

The positions where views of the Farmhouse and the Dairy are visible from outside of the curtilage have been investigated and these show that there are limited views of the Farmhouse and Dairy due to the presence of tall trees and in particular evergreen trees.



**Plate 43 The View From The South towards Sandleford Farmhouse**



**Plate 44 The View from Newtown Road (To the West) towards Sandleford Farmhouse**



**Plate 45 View of The Dairy from The East**



**Plate 46 View from The East towards Sandleford Farmhouse and Sandleford Dairy**



**Plate 47 View of Sandlesford Farmhouse**



**Plate 48 View of Sandlesford Farmhouse**



**Plate 49 View of Sandleford Farmhouse**



**Plate 50 View of The Farmhouse from the North**

The chimneys of the farmhouse are just visible



**Plate 51: Looking south towards Sandleford Farmhouse**

### **11.5 The Importance of The Setting of The Farmyard and Dairy.**

It can thus be seen that there are very restricted views of both the Farmhouse and Farm Yard. Thus the importance of the setting can be judged in English Heritage terms as being low or no value because:

The views are not of medium value because:

1. The Views are not designated as such
2. The grade of the heritage asset
3. There are no designed views
4. The heritage significance is not well represented in the view

The important of the views are below low because:

1. It has not been previously identified as being locally valued
2. The heritage significance is not easily read or well represented.

### **11.6 Detracting Aspects of the Setting of The Farm House and Dairy.**

The fact that these Heritage Assets are located next to:

1. A heavily used road where noise is an issue
2. A engineering plant means noise and dust are an issue
3. The presence of an engineering works and associated parking means that the views to and from the heritage assets, where possible, are compromised.

### 11.7 Impact on The Setting of The Dairy and Farmhouse.

The fact that there are very restricted views of the farmhouse and dairy mean by definition the impact of the proposals is low. In English Heritage Terms the impact can be considered thus

***Criteria for determining magnitude of impact on heritage significance within a view***

<b>Magnitude of Impact</b>	<b>Definition</b>
<b>High beneficial</b>	The development considerably enhances the understanding and appreciation of heritage assets in the view by virtue of its scale, position in a view, or design.
<b>Medium beneficial</b>	The development enhances the understanding and appreciation of heritage assets in the view to a clearly discernible extent by virtue of its scale, position in a view, or design.
<b>Low beneficial</b>	The development enhances the understanding and appreciation of heritage assets in the view to a minor extent by virtue of its scale, position in a view, or design.
<b>Imperceptible/ None</b>	The development does not affect the understanding and appreciation of heritage assets in the view.
<b>Low adverse</b>	The development erodes the understanding and appreciation of heritage assets in the view to a minor extent by virtue of its scale, position in a view, or design.
<b>Medium adverse</b>	The development erodes the understanding and appreciation of heritage assets in the view to a clearly discernible extent by virtue of its scale, position in a view, or design.
<b>High adverse</b>	The development severely erodes the understanding and appreciation of heritage assets in the view by virtue of its scale, position in a view, or design.

It can thus be seen that proposal have an imperceptible/None impact or are a Low beneficial impact because detracting industrial elements are removed.

### 11.8 Third Party Comments on The Setting of The Farm House and Dairy

The following comments have been made by third parties on the proposals impact on the setting of these assets:

Christina Duckett on behalf of Greenham Parish Council

*If proposals are built, then as a result of the relative sizes of the buildings, the Farmhouse will no longer clearly ‘read’ as the most important building.*

*The view of the listed Farmhouse from the south is presently unspoilt and the attractive form of the building can be read against the trees and the sky, the chimney stacks adding interest to the silhouette. This view would be severely compromised if the proposal were to go ahead as the Farmhouse would then have a backdrop of continuous built development, unsoftened by landscaping.*

Kirkham Landscape Report for Greenham Parish Council states that:

*The change to the roadside wall will may also affect the setting of the listed garden [wall] on the opposite side of the A339.*

The wall- part of the walled garden is not according to the National Heritage List (searched on 3/Nov/2011) listed. It is thus unclear on what basis these statements have been made and in particular if the methodology suggested by English Heritage has been considered.

## 11.9 Documenting the Setting of The Historic Park

The designation description states:

*The northern half contains a caravan park, lying north-west of the upper ponds, together with gravel workings towards the north-east corner. The area along the former northern boundary has been eroded by the insertion of houses and a refuse collection point. The part of the park containing the farmyard has already had many of its historic buildings removed and in particular the priory gatehouse has been demolished. In addition there has been much modern construction which devalues the historic interest of this area.*

In addition the statements made in the West Berkshire District Council Document – Sandford Priory Park Draft Conservation Plan are relevant and these are appended. This notes that there was a deliberately constructed view from the Northern gatehouse towards the Priory. The view today is shown in the following plate:



**Plate 52 View of Priory from the North**

It is suggested that there is no obvious historic interest in this view.



**Plate 53 View of Gilsons Engineering Works**

It is noted that the Dairy is not visible and only the roof of the farmhouse is visible.



**Plate 54: One of the few remaining trees in the north of the park**



**Plate 55: Another of the few remaining trees in the north of the park**

The setting of this park is badly compromised already – not least by the presence of the industrial units themselves in any event; the housing estate and caravan park to the north and the new school buildings surrounding the school.

English Heritage describes the setting of this part of the park as follows:

*“The setting is partly urban, with the southern extremity of Newbury close by to the north, and agricultural, with the former western parkland (Conveyance map, 1871) lying adjacent to the west of the A34.”*



**Plate 56: The northern setting of the park showing encroachment of modern houses**



**Plate 57: The northern setting of the park showing modern houses and mobile homes**  
Even to the south and the view of the priory itself, the setting is far from historic:



**Plate 58: Looking south towards the priory building - extensive modern building is evident**

From the park the following views to the development area are present from the north and east:



**Plate 59: The view to the development area from the park (east)**



**Plate 60: The view towards the development area from the east**



**Plate 61: The view of the development area from the north**

The proposed development is therefore at worst a neutral alteration to the setting of the park because one “urban” type of building is being replaced with a building which is more rural in character i.e. a traditional barn form and in fact can be regarded as an enhancement. The removal of a modern utilitarian building and the yard where heavy machinery is parked is clearly an improvement to the setting of the park and the other listed buildings.

The current proposal includes planting of parkland specimens which again can be seen to be an enhancement of the park. It thus follows the improvement suggested in the document “Sandleford Priory Park Draft Conservation Plan”.

In English Heritage terms the impact of the setting is clearly beneficial.

### **11.10 What is important and Why.**

The English Heritage document The Settings of Heritage Analysis suggests that as well as the objective analysis there should be a statement of what is important and why.

Clearly the setting of the northern part of park has been robbed of its historic importance and is to contrasted with the views from the west and south of the Priory.

Anything which improves the setting of northern park is to be welcomed. In reality the setting of the Park is so badly destroyed that any change makes little or no difference.

### 13. Demolition of Buildings.

For the avoidance of doubt listed building consent is being sought for the demolition of the buildings which pre-date 1949. PPS 5 is silent on how buildings within the curtilage of a listed should be treated apart from this statement:

*95. Some buildings are deemed designated as listed buildings by being fixed to the principal building or by being within its curtilage and pre-dating 1948. Whether alteration or demolition of such buildings amounts to substantial harm to the designated heritage asset (i.e. the listed building together with its curtilage and attached buildings) needs considering carefully. These buildings may on occasion be of limited individual or group value.*

It is noted that it is the farmhouse and the dairy that were listed not the other buildings many of which have been demolished even in recent times. The English Heritage Listing report is silent on if the buildings have a group value. Clearly they are not a coherent group particularly due to the fact that they are highly altered are not a coherent group.

These buildings as a group are a range of late Victorian and twentieth century agricultural buildings which have been converted to industrial use together with modern industrial buildings. As such all of the buildings have been highly altered and as such are not listable in their own right and individually have little historic interest. This is echoed by English Heritage in their 2007 listing report.

There can be no objection to the demolition of units 3 and 5 as they are relatively recent buildings.

Units 1, 2 and 6 date to the period 1870-1900 and there is little historic or architectural interest in them particularly because of the degree of alteration, lack of original features and they are very common types.

Part of Unit 4 will be demolished. This building dates from the period 1833-1870. Again it is highly altered and lacks original features. The use of sawn timbers suggests a date at the end of this range, or the fact that the roof is a complete replacement. The west elevation is largely rebuilt thus reducing the historic integrity of the structure. The north elevation is compromised by the insertion of a roller shutter.

The historic interest of the group of buildings is further reduced by the fact that most of the agricultural buildings which constituted the farm yard have already been demolished.

In terms of the associations with the historic park the buildings were constructed about a hundred or more years after Capability Brown's designs were completed in 1781. These buildings, while located within the historic park, are temporally not actually a part of the park design. The fact that the farmyard has been relocated twice since the Brown landscaping further emphasises this. It is thus suggested that these buildings do not contribute to the special character of the much earlier farmhouse or the historic park. In fact it is suggested that they detract from the special character.

Thus it can be seen that the demolition of these buildings do not amount to "substantial harm". This has been agreed with West Berkshire council during consultations meetings and in effect in the report to committee produced in 2010 which stated that:

*Criterion d] seeks to ensure that there will be no loss of listed buildings, nor the setting harmed. In terms of the first issue there has been considerable*

*correspondence as to whether the existing buildings on site are worthy of listing, but English Heritage has formally declined to list them. Secondly, the Council's Conservation Officer has stated that, whilst the farm yard was originally within the curtilage of the farm house, this actual and functional link has since been lost over many years through separate West Berkshire Council Western Area Planning Committee 4<sup>th</sup> August 2010 land disposal, so no basis for curtilage listing is justified. On the second point regarding the setting, policy HE10 in PPS5 is pertinent, i.e. the setting of a listed building is an important consideration, which if harmed, must be weighed in the balance in relation to other benefits arising from the application. In this case, even if committee members were to consider that the housing harmed the setting [in comparison to the unattractive range of industrial buildings on site], then the advantages of removing a non conforming use from the site, plus the benefit of adding 8 further dwellings to the Council's housing stock, should be considered. It is considered that policy HE10 is accordingly, satisfied.*

## 14. Discussion

The agricultural buildings are late Victorian and twentieth century agricultural buildings which have been converted to industrial use, alongside which modern industrial buildings have been constructed. As such, all of the buildings have been highly altered and as such are not listable in their own right and have little individual historic interest. This has been reiterated by English Heritage when a 2007 application for listing was turned down.

The historic interest of the group of buildings is further reduced by the fact that most of the agricultural buildings which constituted the farmyard have already been demolished. Further to this, there can be no objection to the demolition of units 3 and 5 as they are relatively recent buildings.

In terms of the associations with the historic park, the buildings were constructed about a hundred or more years after the 1781 completion of Capability Brown's designs for the park. These buildings, while located within the historic park, are temporally not actually a part of the park design. The fact that the farmyard has been relocated twice since the Brown landscaping further emphasises this.

As noted above, when the park was designated as a historic park the industrial area was excluded from the designated area, as is the norm, because:

- "Main buildings, including stables, lodges and follies as well as kitchen gardens, forming part of the original design are included but not normally churches or farms nor farm areas laid out purely for agriculture, silviculture or other economic purposes.
- Areas are then omitted which no longer include the essential character and fabric of the "designed landscape".

This part of the park had already been subject to the removal of many of its historic buildings and in particular the priory gatehouse has been demolished. In addition there has been much modern construction which devalues the historic interest of this area.

Virtually all of the historic planting has disappeared except for the occasional tree.

The setting of this historic park is already badly compromised – not least by the presence of the industrial units themselves. In any event, the housing estate and caravan park to the north and the new buildings surrounding the school to the south make a notable impact.

English Heritage describes the setting of this part of the park:

***“The setting is partly urban, with the southern extremity of Newbury close by to the north, and agricultural, with the former western parkland (Conveyance map, 1871) lying adjacent to the west of the A34.”***

Even to the south and considering the view of the priory itself, the setting is far from historic.

The proposed development is therefore at worst a neutral alteration to the setting of the park because one “urban” type of building is being replaced by a building which is more rural in character i.e. a traditional barn form and can be regarded as an enhancement. The removal of a modern utilitarian building and the yard where heavy machinery is parked is clearly an improvement to the setting of the park and the nearby listed buildings.

The current proposal includes planting of parkland specimens which again can be seen to be an enhancement of the park.

Analysis of the setting of the nearby Sandleford Farmhouse, which is listed at Grade 2, using the methodology suggested by English Heritage shows that the impact on the setting of this building is also an enhancement.

It has been suggested by the occupier of Sandleford Farmhouse that an “ice house” is present on the development area. This is discussed in detail. There is in fact no evidence that an ice house is present and much evidence that an Ice House is not present. A subterranean structure has been found although its function is unknown.

This structure will be unaffected by the development proposals but it is possible that the ground may have to be stabilised in this area. In this eventuality a programme of archaeological investigation and recording will be undertaken.

It is suggested that the development proposal is acceptable in terms of the historic environment.

## **15. Appendix: Designation Descriptions**

### **15.1 Sandlesford Park (Historic Parks and Gardens)**

**SITE REF NO 1277**

**NAME SANDLESFORD PRIORY**

#### **SITE DESCRIPTION**

A mid to late C18 landscape park, surrounding a country house remodelled by James Wyatt in Gothick style in the 1780s, with work to designs of 1781 by Lancelot Brown, and C19 planting.

#### **HISTORIC DEVELOPMENT**

An Augustinian priory existed on the site from c 1200. In 1478, the priory was closed and the estate transferred to the Dean and Chapter of St George's Chapel, Windsor. The estate passed through a series of tenants, the lease being acquired in 1730 by Edward Montagu, a grandson of the first Earl of Sandwich, who married Elizabeth Robinson of Yorkshire in 1742. A painting of 1744 (Harris 1979) shows a terrace on the south front leading down to several rectangular canals (gone, 1998), in the area which is now the south park. After Montagu's death in 1775, his wife, renowned for her intellectual salon and known as 'The Queen of the Bluestockings', made considerable alterations, using James Wyatt (1747-1813) for the house, and Lancelot Brown (1716-83) for the park and garden, for which Brown provided plans in 1781. At this time the landscape still incorporated formal garden elements close to the house, and there were no pools along the eastern valley (estate map, 1781). Brown's design seems to have covered the valley east of the house, down to the sinuous Brown's Pond (which he created or enlarged) and beyond, in order to enhance views from Wyatt's new rooms on the east front (Hinde 1986).

Mrs Montagu (d 1800), a close friend of the Duchess of Portland who gardened at Bulstrode Park (Bucks, qv), continued to follow Brown's plans after his death in 1783, employing one of Brown's former foremen, Samuel Lapidge, to carry out the remaining work. From 1835 the estate was leased by William Chatteris (d 1889), during whose occupation further work occurred in the gardens, including extensive rhododendron planting, and who bought the freehold of the estate from the Dean and Chapter of St George's Chapel in 1871. In 1947 the estate was sold in separate lots and remains (1998) in divided ownership, the house being used as a girls' day school.

#### **DESCRIPTION**

#### **LOCATION, AREA, BOUNDARIES, LANDFORM, SETTING**

Sandlesford Priory lies 2.5km south of the centre of Newbury and 1km north of the village of Newtown, on a hillside dividing the rivers Kennet, to the north, and Enborne, to the south. The 55ha site is bounded to the west by Newtown Road, this being part of the A34 connecting Oxford and Newbury with Winchester; to the south by the county boundary with Hampshire, marked by the River Enborne, and beyond this the village of Newtown; and to the north by a 1990s retail development. The east boundary lies adjacent to the agricultural and wooded land of Greenham Common. The site is situated on a south-facing hillside which generally slopes down from north to south.

The setting is partly urban, with the southern extremity of Newbury close by to the north, and agricultural, with the former western parkland (Conveyance map, 1871) lying adjacent to the west of the A34. The latter area contains a former drive, now a track, which gave access from the A343 Andover road (OS 1882). The southern parkland is divided at its south end by the A339 road to Basingstoke which runs along the north side of the Newtown Pond. Long views from the house extend west, over the former parkland, and south, to the Hampshire/Berkshire Downs.

#### **ENTRANCES AND APPROACHES**

The main drive enters off the A34, 150m south-west of the house, curving north-east to the main entrance on the west front, passing tennis courts set into a lawn west of the house, and mature specimen trees, including several cedars, to the south, with extensive views west.

This drive, constructed after the Second World War, replaced the former south drive which entered 400m south of the house, where the present Basingstoke roundabout now stands. The drive curved up the hillside between park trees to arrive at the west front, and seems to have been part of Brown's scheme (Wade 1997). Formerly a spur joined the south drive close to its southern end, giving access along the south side of the parkland from a lodge which stood c 1.3km east of the south entrance at the south-east corner of Peckmoor Copse, which adjoins Greenham Common. The A339 appears to follow the course of this spur, at least in part, along the south side of Peckmoor Copse.

The former north drive entered the park 400m north of the house close to the junction of Deadman's Lane with the A34, past the lodge, a rendered cottage of one-and-a-half storeys. The drive, traces of which remain visible in the park, curved south across a plateau and then down through the park, with extensive views to the south and west, arriving at the west front. A spur off this drive, traces of which may remain, entered at the north-east corner of the park, 900m north-east of the house, past a small lodge, curving through the north park to join the north drive 300m from the house. From the north-east lodge a further drive, traces of which remain, curved south and west close to the upper ponds, entering the pleasure grounds 200m north-east of the house. It then ran west through the former Wilderness within the pleasure grounds (estate map, 1781), past the north side of the stables, to join the north drive 50m north of the house.

A further, west, drive (possibly on the course of an earlier track) appears to have entered the former west park 3km west of the house, set some way back off the A343 Newbury to Andover road, the entrance marked by Park Cottage, a two-storey rendered cottage standing adjacent to the drive. The drive, still extant as a track and public footpath, curves across a plateau through what is now open agricultural land bounded by woodlands, dropping from the north-east corner of Gorse Covert (formerly Waterleaze Copse, OS 1882) down the hillside towards the house, from which hillside the west front and south park are prominent in views east. The drive terminates at the A34, 175m south-west of the house and opposite the late C20 drive entrance.

#### PRINCIPAL BUILDING

Sandleford Priory (C14, James Wyatt 1780-1, listed grade I) stands towards the centre of the site, near the top of the south-facing hillside, with extensive views south and west over surrounding countryside. The two-storey rendered house, of T-plan, incorporates remains of the monastic buildings within a structure otherwise remodelled internally and externally by Wyatt in Gothick style for Elizabeth Montagu. A series of late C20 school buildings have been erected to the north-east of the former chapel.

The two-storey rendered stables (James Wyatt 1780-1, listed grade II), now converted to offices and classrooms, stand 10m north of the Priory; also built in Gothick style, they surround a courtyard on all but the west side.

#### GARDENS AND PLEASURE GROUNDS

The gardens and pleasure grounds lie east of the house, extending down the hillside to the east to a chain of ponds running south down a small subsidiary valley.

The south and east fronts are linked by an adjacent low, grass terrace with a gravel path, which extends east along the south side of the former drawing room (Robert Adam 1780s) and C14 former chapel. A central set of low stone steps on the south side of the chapel leads down to a lawn which extends south to the park and east towards Brown's Pond. The level area, enclosed to the north and west by the house, was formerly a bowling green (estate map, 1781).

East of the stables a path leads down the hillside into the pleasure grounds, through a linking area of woodland ornamented with mature yews and rhododendrons which leads to the stream where it enters the north end of Brown's Pond. By 1781, just before Brown's improvements began to be implemented, this area was known as the Wilderness Walk, from which a serpentine walk led east down to the undammed stream (ibid).

A small footbridge carries the path across the stream at the north end of Brown's Pond, overlooking the length of the Pond, the path continuing east up the hillside beyond. A path from here (now overgrown) gives access northwards to the two ponds above Brown's Pond, set within ornamental woodland (OS 1882). A path extends south along the east side of Brown's Pond, backed to the east by woodland covering the rising hillside beyond. The path turns west at the south end of the lake to run across the substantial earth dam above marshy woodland to the south, through which further paths run. Having crossed the dam, the path emerges at the east side of the lawn running down the hillside from the east front.

## PARK

The park can be divided into north and south halves, both laid largely to pasture with scattered mature trees, including cedars and Wellingtonias. The northern half contains a caravan park, lying north-west of the upper ponds, together with gravel workings towards the north-east corner. The area along the former northern boundary has been eroded by the insertion of houses and a refuse collection point. **Sandleford Farm, the late C18/early C19 former home farm, stands adjacent to the west boundary at the south-west corner.**

The southern half of the park is divided by a belt of loose woodland enclosing the stream running south from Brown's Pond, which feeds Woodhouse Pond at the southern end. This pond is divided by the A339 from the partially silted-up Newtown Pond running along the south boundary and enclosed by trees; the latter is thus cut off from the majority of the park.

Views extend west and south from the southern part of the north park and the northern end of the south park across the former west park, lying west of the A34 and now largely under arable cultivation. This transient area of parkland formerly contained many scattered trees and clumps (Conveyance map, 1871; OS 1882), now (1998) largely gone.

## KITCHEN GARDEN

The former kitchen garden lies 200m north-west of the house, on the west side of the A34, opposite Sandleford Farm. Surrounded by a brick wall, it is divided into two by an internal wall running west to east across the centre.

## 15.2 Listed Buildings Descriptions

None of the buildings at Sandleford Farm are listed.

The following buildings in the vicinity of the development area are listed:

### **Sandleford Farmhouse, Newtown Road Grade II**

Farmhouse c. 1800. Red brick, first floor with 20<sup>th</sup> century tile hanging, and hipped tile roof in 2 ranges with 3 stacks. South front: 2 storeys; 3 bays. Glazing bar sashes and central door. Blocked 19<sup>th</sup> century porch extension to north.

### **Sandleford Priory, Newtown Road Grade I**

A 13<sup>th</sup> century Augustinian priory active until 1478. The priory was formed some time between 1193 and 1202 by Geoffrey, Count of Perche. Whilst still owned by the Dean and Chapter of St George's Chapel until 1871, in 1730, the priory became first the private residence of one Edward Montagu, grandson of the first Earl of Sandwich, and in turn upon his death in 1775, that of his wife Elizabeth.

The house was remodelled in the Gothick style by James Wyatt in the 1780s, and also by Robert Adam in the latter part of the 18<sup>th</sup> century. Wyatt's improvements included an extension to the eastern side of the priory.

In the 19<sup>th</sup> Century, lease of the priory passed to William Chatteris who purchased the freehold of the estate from the Dean and Chapter of St George's Chapel in 1871. During the Second World War, the house was used as a military convalescent home. In 1947 the estate was sold as separate lots, the house now being used as a girls' day school.

**Stables, Sandlesford Priory Grade II**

Two storey rendered stables, now converted into classrooms.

**Dairy adjoining Sandlesford Farmhouse Grade II**

Dairy. Mid C19. Painted brick with octagonal shingled roof, formerly thatched. Octagonal plan, with small rectangular creamery attached to west. Thermal windows on all faces, entrance to west. Interior: ceiling with octagonal paned and central rosette; slate shelves around walls.

## 17. Appendix English Heritage Report

English Heritage (Listing) Adviser's Report 30 AUG 2007

### ADDRESS

Old stable block and associated farmyard buildings at Sandleford Farm. NEWTOWN ROAD, GREENHAM

Parish GREENHAM Case UID: 164175

District WEST BERKSHIRE County BERKSHIRE

Date First Listed: Formerly Listed As:

RECOMMENDATION Adviser: Ms V Fiorato

Outcome: No, do not list Recommended Grade: NL 01-AUG-2007

Advice Comments/Reason for No Previous Listing:

\* ~

Reason For Decision: After examining all the papers on this file and other relevant information and having carefully considered the architectural and historic interest of this case, the criteria for listing are not fulfilled.

### CONTEXT

We have been asked to assess a group of buildings at Sandleford Farm for listing. The buildings are located to the north of the former Sandteford Farmhouse, listed Grade II, and lie partially within the Registered Historic Park of Sandleford Priory, a C18 Grade II listed landscape. However, the farm buildings in question, although mentioned in the register entry, are not identified as contributing to the historic interest of the park and indeed largely post-date the layout of this landscape. The listing assessment has been prompted by proposals to re-develop the site for housing. The site owner had recently lodged a planning application for the same with the local authority although this has now been withdrawn but a further application is expected shortly.

### HISTORY

Sandleford Farm was associated historically with the nearby Sandleford Priory to the south-east. This is a Grade I listed building with C14 priory origins, which was remodelled as a grand Gothick country house by James Wyatt in 1780-1 on behalf of the Montagu family. The surrounding park and garden (registered Grade II) were also remodelled in the 1780s by Lancelot 'Capability' Brown. Sandleford Farm was the home farm of this estate. The farmhouse, which is of CIS date, is listed at Grade II as is an adjoining dairy.

Historic map evidence illustrates the development of Sandleford Farm in the last few centuries. The former farmhouse was, in the late C19 and early C20. between two distinct farmyard areas. That under consideration was the later to be developed and, with the exception of the block now forming units 4 & 7, was developed from the late C19 onwards. An estate map of 1781 is particularly helpful as at that date the assessment area was in use as a rickyard (a rick is a stack of hay or corn etc; a rickyard is the enclosure to store ricks) but contained no farm buildings at all: all were located south of the farmhouse.

### DESCRIPTION

The Sandleford farmyard complex under assessment comprises seven small industrial units, some of which are housed within former farm buildings. Each will be described in turn by unit number apart from units 4 & 7 which will be described together as they each occupy one half of a historic range.

UNIT 1 is a red brick, single storey building with a corrugated metal roof. It is oriented north-south and its west elevation bounds Newtown Road. It was built, on map evidence, between 1880 and 1898 as it is first shown on the Ordnance Survey map of 1898. it

appears to have been a stable block originally and has evidence of blocked stable doors and inserted nine-pane timber framed windows in the east elevation. Double doors have also been inserted in the south elevation. There is little of historic interest visible internally; the building now has a concrete floor and the roof is boarded out precluding examination of the roof structure.

UNIT 2 is a single storey red brick building, oriented west-east marking the northern extent of the complex. It also has a pitched corrugated metal roof of very recent date although a small tiled section survives at its eastern end. This building is not shown on the Ordnance Survey map of 1880 but does appear by the 1898 edition providing a late C19 date.

Again the building has experienced modifications with evidence of blocked original openings, such as to the north, inserted double doors to the south and inserted windows of the same style as Unit 1 and therefore probably contemporary. A scissor brace roof with machine cut timbers is visible internally but the building otherwise lacks architectural features of interest.

UNIT 3 is a late C20 industrial unit built after 1990. There are (wo parallel sheds with shallow pitched roofs to the east and an office range with a steeper pitched roof to the west, all in red brick. There is a small area of older fabric to the north-west comprising a section of brick walling which is probably of late C19 date, and there are other reused historic bricks, presumably relating to the former buildings on this site, however, these are the only elements of any age.

UNIT 5 is also a late C20 rectangular unit. It has been constructed in the angle between Units 4 and 6 and therefore uses their east and north walls respectively. The remaining walls are in concrete blocks and it has a flat roof with a corrugated metal covering. This unit was not inspected internally.

UNIT 6 is a red brick late C19 building which is first depicted on the 1871-2 Ordnance Survey map. It has a sloping slate roof, the apex of which is to the north. However, it has experienced some alterations evident in modified openings and patches of newer brickwork; the oldest bricks are at the base of the structure suggesting successive phases of modification. It was partially inspected internally - at the east end - now modernised to provide toilet facilities.

UNITS 4 & 7 are two halves of the same range. This is a red brick, rectangular, two storey structure located in the southern part of the site. It is oriented north - south with its western elevation bounding Newtown Road. This building is the oldest of all those under assessment. Although its precise construction date is unclear, map evidence suggests that it is of late C18 origin as a building appears to be shown at this location on the 1802 estate map and is shown on other early C19 maps. It has a tile roof, which is half-hipped at its northern end where the gable below is weatherboarded. It is understood to have been a former stable with hayloft above and an adjoining bam to the north. Externally the building has again experienced modifications: the roof form is odd with the southern end pitched and the northern half-hipped. The north elevation has been considerably altered by the insertion of a large modern roller shutter door. The northern part of the east elevation is largely obscured by the adjoining units although to the south (where it forms unit 7) the facade is visible. This has a number of window and door openings with shallow brick arched heads. There is an off-centre dormer with a weatherboarded gable to the former hayloft. There are large double doors in the centre of the elevation which are of

relatively recent date. The south elevation has a single window, at first floor level, again with a shallow brick arched head.

Internally the flooring is now of concrete obscuring any former stable surface. The roof structure is visible in part and comprises a collar beam supported by raking struts. The timbers are machine cut, suggesting a later C19 date, and the joints are pegged.

## ASSESSMENT

There are very large numbers of post-medieval farm buildings surviving, many of which will be difficult to date accurately; it is important to be highly selective when considering candidates for listing. Agricultural buildings are assessed against: their date (if known); completeness; context (whether a building forms a group with other historic farm buildings); whether a building represents a specialist functional interest or technological innovation; rarity; and the survival of original or significant agricultural machinery (if relevant). As with all categories of building, the later the date of construction the greater the degree of special interest that must be demonstrated. In particular, given the greatly increased number of agricultural buildings erected post-1840, and the consequent higher survival rates, only buildings of clear special interest after this date will be recommended for listing.

Farmsteads come in many different forms, scales and design. By the C19 there was a particular and clear distinction between those that were conceived as a whole, sometimes architect designed and reflecting contemporary fashions in farm planning and architecture, and those that were more traditionally composed with a loose arrangement of buildings around a farmyard. The Sandleford layout conforms to the latter type with the historic buildings stylistically of the local vernacular: using red brick, and weatherboarding, with tile or slate roofs.

Of the buildings under consideration, units 3 and 5 are of late C20 date. Although unit 3 retains a very small section of historic fabric from an earlier building, neither can be considered of special interest.

Units 1, 2 and 6 are all modest, single storey, red brick farm buildings of late C19 date. All have been considerably altered by subsequent uses. Unit 6 appears largely rebuilt, and the original openings and roof coverings to units 1 and 2 have also been altered, such that they can no longer be considered intact examples. Although it appears that unit 1 may have originated as a stable, the stable doors have been removed and the openings blocked and no internal historic features indicative of this use remain. Possibly unit 2 was also stabling but again this is no longer evident. Other than its scissor braced roof frame, which is a somewhat unusual form, this building is of little note.

The oldest of the buildings in the complex is the range forming units 4 and 7 which is of possible late C18 origin. There is a presumption in favour of listing substantially intact buildings of pre-1840 date but this building cannot be described as substantially intact. The machine cut timbers suggest that the roof is of late C19 rather than late C18 date; possibly the original roof was replaced when the remainder of the yard was being developed in the late C19 and this may explain the oddity of a pitched and a half-hipped gable. The building has also suffered from accretive alterations both inside and out including the insertion of two sets of large C20 doors. The building is therefore no longer an intact example of an C18 farm building, its original stable function cannot be readable internally as all traces of its stable plan-form (stalls, drainage, hayracks, tethering rings etc) have been lost.

## SOURCES

P Wardle & C Lacey, Historic Environment Assessment and Conservation of Building Research Analysis of the development known as; Sandford Farm. West Berkshire. The Historic Environment Consultancy report (2006),

Summary of Importance:

### REASONS FOR DESIGNATION DECISION

This group of buildings at the former Sandford Farm are not recommended for listing for the following principal reasons:

\* Buildings which are of a common rather than unusual type, With the exception of unit 4/7. the buildings are of very late date.

\* Buildings which have been altered from their original form by subsequent uses, such that the historic fabric has been compromised,

## VISITS

19-JUL-2007 Partial Inspection

Most buildings were fully inspected but a couple of units were not inspected internally. However, these were not noteworthy from external evidence.

COUNTERSIGNING First Countersigning Adviser: Ms E Gee

Comments: Agreed. These C19 and C20 farm buildings lack the special interest that listing requires, 28.08.07,

Second Countersigning Adviser:

Comments:

HP Director.

Comments:

## 18. Sandeiford Priory Park Conservation Plan

**TABLE 2 (See also Figure 12):**

### Conservation proposals:

#### Northern area

	Historic feature	Historic evidence	Importance to the rest of the Park	Existing condition	Conservation proposals
1	North west Sandeiford Priory Park boundary	1781: Linear hedged field adjacent Newtown Road 1802: Brownian woodland tree belt along estate boundary. 1873: Loose tree planting along Newtown Road, with specialist shrub garden.	Western boundary of Brown's northern parkland. In design terms this tree belt would have visually enclosed the northern area of parkland, emphasising the views to the south.	Continuous hedgerow with some mature trees including pine and oak. Also as shown on the 1st Ed OS Map, there is a specialist shrub garden, with overgrown holly.	Maintain and increase as continuous planted boundary enclosing views from west.
2	Northern wooded boundary	1781: Shown as estate northern boundary. 1802: Brownian style woodland belt enclosing the parkland. 1873: Continuous northern tree belt as shown from Sandeiford Priory Lodge along to Pinchington Lodge.	Brown designed the northern tree belt as a backdrop to the northern area of parkland. When approaching from the north along the driveways this tree group would have emphasised the views to the south.	Collectively the overgrown trees and shrubs within the redundant caravan site, the mature oak trees within the hedgerow and the small woodland adjacent to Pinchington Lane create a northern tree belt as seen from viewpoints within the northern area of the Park.	Restore northern tree belt as far as existing development allows.  Mitigate the impact of existing and any future development without disturbing the historic integrity of adjacent areas of the Park.

3	Sandleford Priory Lodge and driveway to Sandleford Priory.	1802: Northern approach through a gateway to Sandleford Priory House 1873: Northern approach from Sandleford Lodge to Sandleford Priory House.	The approach to the main house would have been carefully designed to provide the visitor with a ride, which would have included framed views across the owner's estate. As the view from this direction towards Sandleford Priory House would have been of the back and the stables, any views of the Priory would have been screened from the north. The final approach was at a side angle, so that full appreciation of the Priory House could not be appreciated until the guest arrived at the front door.	The driveway remains as an earthwork within the area of northern parkland, except for a small section adjacent to the new residential development where the driveway has been built over. The driveway then approaches Saint Gabriel's School along its original alignment between the two school bungalows.	Restore as n possible of the usiqin.ii alignment of tht; driveway find approach to the Priory
4	Pinchington Lodge and driveway.	1873: A driveway is shown taking a sinuous route through the elevated section of the northern area of parkland.	One of two northern approaches to Sandleford Priory House, providing an elevated route with open southern views across to the Hampshire Downs.	Even though on the surface there is no evidence of an earthwork of this alignment the alignment of the driveway si remansopen.It passes through the open field adjacent to Pinchhington Lodge, along the entrance track to the CMC Amenity Site and across the open restored	Even though this driveway has been severed by residential development, the setting of the rest of the driveway should be restored which then can be incorporated into other routes around the Park

				gravel pits. The section of the driveway when crosses the residential site has now been built on. but the driveway then reappears as an earth work as it joins the Sandleford Priory Lodge driveway	
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1613 An area situated at the Civic Amenity Site, the Aggregates Sales site and 20m to the west is designated as the preferred area for the potential recycling of non inert, difficult/special waste.

## 2.0 VISUAL ASSESSMENT

### 2.1 Historic References

211 As stated within Sybil Wade's historic account of the landscape around Sandleford

Priory (Appendix 4), views around the Park were an important part of Brown's design. The historic views (as shown on Figure 16) are as follows:

View 1: Elizabeth Montague's favourite view was looking south from the library to the Hampshire Downs, as painted by Edward Hatley in 1744.

View 2: The view from the Priory down to Brown's Pond.

View 3: The view to the west from the front of the Priory, out to the open parkland beyond the Newtown Road.

View 4: The view to the north, where three lines of conifers and the western end of the 'Wilderness Walk' was removed

View 1: The view south from the Library of Sandleford Priory The views to the south from outside the library of Sandleford Priory are framed between the mature trunks of Punch's Oak and other mature trees set within the lawn. Demarcating the boundary between the grounds of the School and the lower field are a number of small shrubs (hawthorn etc) and detritus (dumping etc). The view of the traffic on the A339 is visible but mainly filtered, with lampposts around the roundabout forming more prominent features within this wooded area. The church spire at Newtown is also visible.

View 2: The view to Brown's Pond (photograph 19)

The view down to Brown's Pond historically would have been important and is shown on Philpott's Plan as open, very much in the style of Brown (Figure 2). But by the late 1800's as shown on the 1st Ed OS map (Figure 3), the view had been obscured by additional tree planting on the Brownian lawn. Today there is an open vista down to Brown's Pond with peripheral tree planting. The peripheral tree planting is a mix of non-native fairly new planting with no historic structure. Leading down to the south is a tarmac path, which takes the walker to the new tennis courts adjacent to Newtown Pond.

View 3: The view west out over the Newtown Road (photograph 9) The view from the front of the Priory to the west is across the grey surfaced tennis courts with the only vertical features being the tennis nets (the boundary fencing has been removed), the four bar wooden fence and intermittent traffic. The view beyond, is a patchwork of open fields, small copses with a scattering of mature predominately oak trees. The general layout of this view has not changed as shown on the 1781 plan (Figure 1).

View 4: The view to the north (photographs 2 & 3)

The view to the north (from the northern boundary of Saint Gabriel's School) is across the immediate pasture field, over the tops of the barely visible rooves of the Caravan Park, to the area of rough grassland beyond. A mature conifer tree forms a strong parkland feature within the first field. The edge of this view is enclosed by mature vegetation (hedgerow and trees) along the A34, Sandleford Priory Lodge, the rooftops

## 10

Sandleford Priory Park Conservation Plan: Appendices DRAFT

of the new housing development (Tesco tower is also visible), the collective vegetation of the old caravan site and the grey waste building of the Civic Amenity Site. Further north, the small woodland off Pinchington Lane (original part of the woodland as shown on Figure 3) is also visible and forms a wooded skyline mass. Along the eastern edge is thick vegetation, which screens the ponds and forms the woodland along the eastern boundary of the Park, Power lines along the eastern edge transect the area. From this viewpoint the landscape has a rural character with the periphery only slightly degraded, therefore overall this area of northern parkland still retains an open rural landscape character.

- 2.1.6 Moving further down the slope into the area known as the 'Wilderness Area', along the northern edge of the School grounds, the view changes with the caravan site becoming more visible, but still nestling down into the existing valley, and not completely obstructing the view north. There is still a view across to the Tesco tower with the rooves of the new development seen more prominently now above the ridgeline.

## 2.2 Existing views and spatial qualities

- 2.2.1 A general visual assessment of the site was undertaken, which identified separate spatial areas within the Park (Figure 16). Following this a visual analysis was undertaken to compare the original Historic Park with the Park today and identifying the features which have led to these changes.

- 2.2.2 Four main spatial areas have been identified within the Park today. These are as follows:

- Pinchington Lodge and the extreme northern area of parkland
- Middle northern area of parkland
- The school grounds and southern area of parkland
- Eastern area of parkland

### Spatial Area A: Extreme northern area of parkland adjacent to Pinchington Lodge

- 2.2.3 This area is defined by the boundaries to the north: road side vegetation, the east: vegetation and planting within Greenham Common, the south: regenerated vegetation along the northern edge of Pond 1, and to the west a line of conifer trees, Aggregate Sales Depot and the Civic Amenity Site. Originally this area would have linked to the rest of the northern area of parkland and Pond 1 would have been visible. This area has now been visually severed and is only visible from a limited number of locations within the rest of the area of northern parkland.

### Spatial Area B: Middle northern area of parkland

- 2.2.4 The middle area of northern parkland has suffered the most degradation. Walking around within this area, much of this development (Caravan Park and new residential area) has less of a visual impact, than as perceived from the plan. The Caravan Park is set within a valley, with the residential area, which now protrudes into the Park, also, sited at a lower level, which cuts back into the edge of the higher plateau minimising its impact on the adjacent historic character.

- 2.2.5 The visual boundaries of Spatial Area B to the north are the vegetation of the empty caravan site and the hedgerow (historically the estate boundary vegetation) along Newtown Road. The new residential development protrudes into the site along with the built structures of the Civic Amenity

Site. To the south the thick band of vegetation aligns and encloses the ponds.

- 2.2.6 Historically within this area there were three driveways, two originating from Pinchington Lodge, and the other from Sandlesford Priory Lodge. One of the driveways

Sandlesford Priory Park Conservation Plan: Appendices DRAFT

from Pinchington Lodge took an elevated route. Walking this original alignment I (there is no evidence of this driveway today, as this area was extracted for gravel) views which would have been a deciding factor in its alignment can be still appreciated. Sandlesford Priory would have been screened, allowing a wider 'nat view' leading to the Hampshire Downs. This area was never designed to have enclosed views, it was a piece of elevated parkland taking advantage of the views the south.

Spatial Area C: The School grounds and the southern area of parkland

2.2.7

Within the southern area of parkland the visual boundaries to the east are the overgrown rhododendrons beyond Brown's Pond and the regenerated Alder around Woodhouse Pond. To the south the visual boundary is the hedgerow vegetation at the realigned A339. To the west the visual boundaries stretch out across the Newtown Road into the open Park landscape beyond. To the north the thick vegetation around the original farmyard and the newer buildings along Saint Gabriel's School boundary form a filtered enclosing edge.

Spatial Area D: Eastern area of parkland

- 2.2.8 To the east of Sandlesford Priory Park is another visual compartment. This area is enclosed on all sides by vegetation. Originally this area would have visually linked to the rest of the Park, but due to the regenerating alder around Woodhouse Pond this has visually separated this area from the rest of the Historic Park.

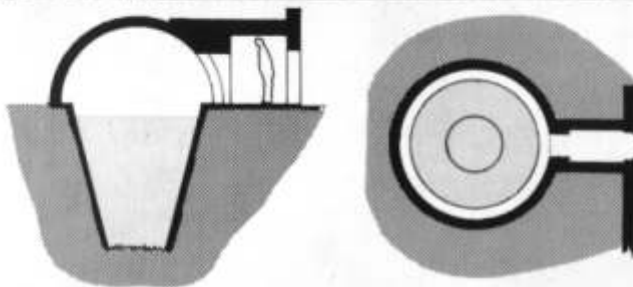
2.3 Visual Analysis

- 2.3.1 Historically as seen from the 1st Ed OS Map (Figure 3) and a study of the landforms (Figure 14), the Park was designed as two separate areas: the northern area of parkland and the southern area. There would have been some filtered views through the grounds of the Priory but essentially the lower southern area was visually separate from the north. These two areas of parkland still exist, but within themselves they have become fragmented. Two components have essentially caused the loss of this arrangement, as follows:

- The northern area of parkland: The built structures of the Civic Amenity Site, the Aggregate Sales Depot and the conifer hedge which separates the northern area (adjacent to Pinchington Lodge) of parkland from the middle section.
- The southern area of parkland: The regenerated alder around Woodhouse Pond separating the eastern area of parkland from the southern section and the rest of the Park.

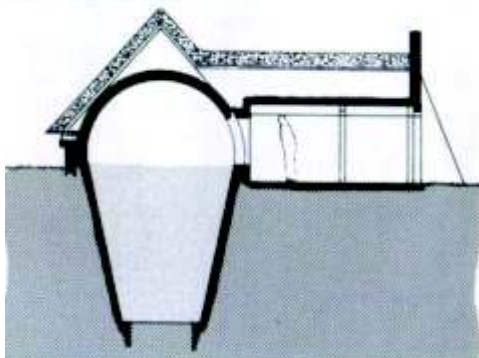
## 19. Appendix: Examples of Ice Houses

The below examples are taken from Buxbaum, T. 2002. *Icehouses*. Princes Risborough: Shire Publications

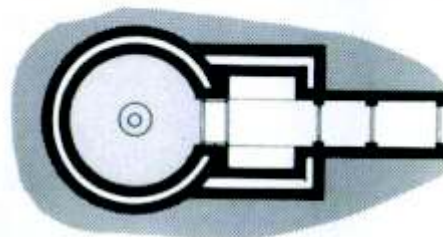
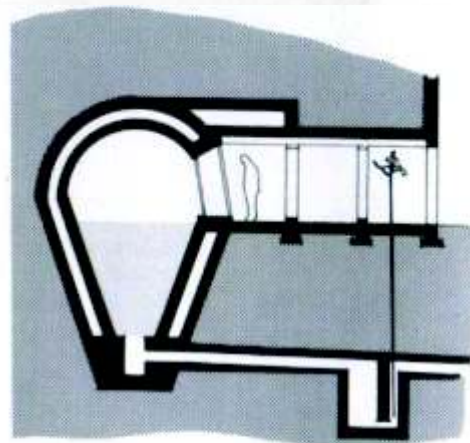


Above and left: *Tapeley icehouse in Devon may have been built in two phases: a conical brick well followed by a set-back hemispherical vault. The capacity of the ice chamber is shown as 12½ tons. (Far left: section; left: plan.)*

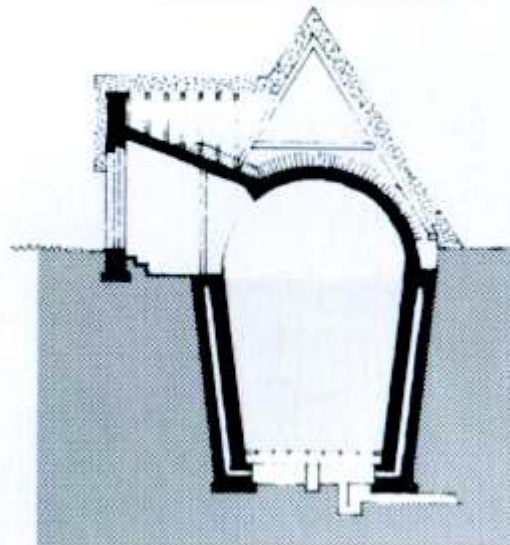
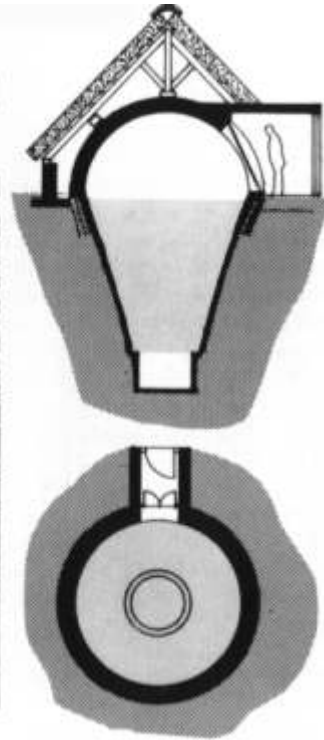
Below: *Section of Heveningham Hall icehouse. The capacity of the ice chamber is shown as 22 tons.*



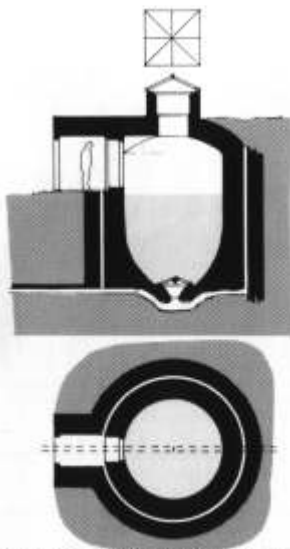
Right: *Copy of a figure from Charles MacIntosh's 'Book of the Garden' (1853) showing an icehouse design (section and plan) with a lead pipe and pump allowing chilled water to be raised from a sump for chilling wines or, after filtration, for drinking. Note the five insulating access doors. The capacity of the ice chamber is shown as 7 tons.*



Below and right: Located between the lily pond and stable pool, Powis Castle icehouse in Powys was excavated in 1980 and partially rebuilt by TACP Architects, whose proposals allowed for possible future installation of a thatched roof. The restoration received a Prince of Wales Award in 1984.

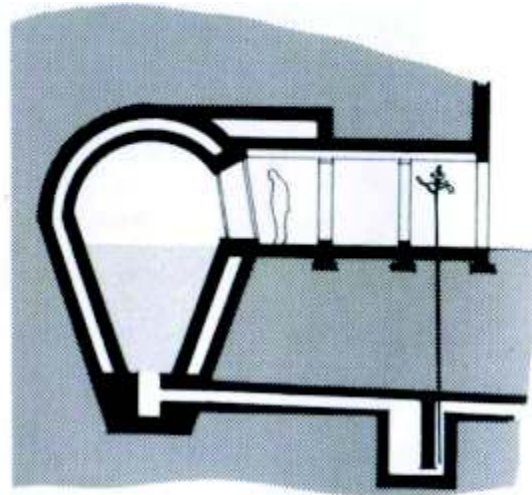
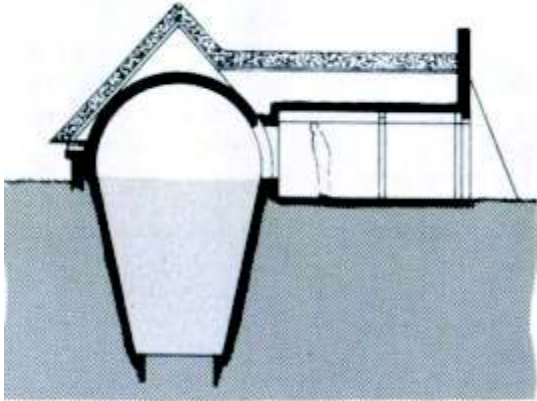


Above: Drawings by Sir John Soane, 1798, for a thatched icehouse proposed to be built at Betchworth Castle, Surrey, for Henry Peters (elevation and section). The capacity of the ice chamber is shown as 21 1/2 tons.

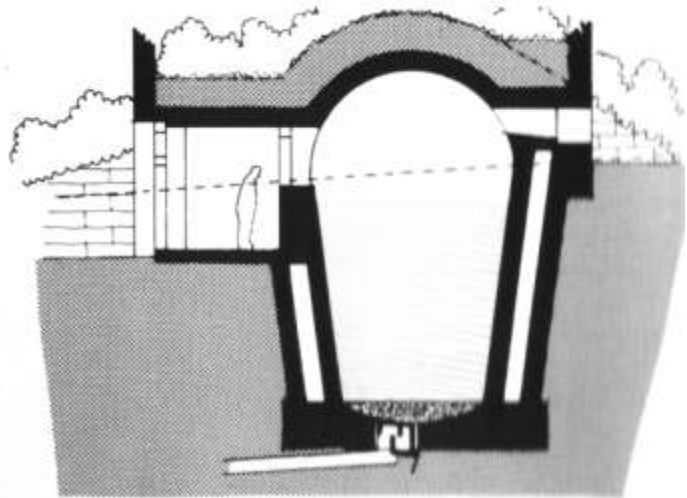
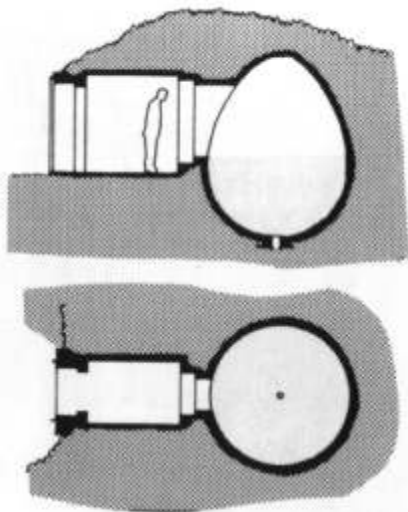
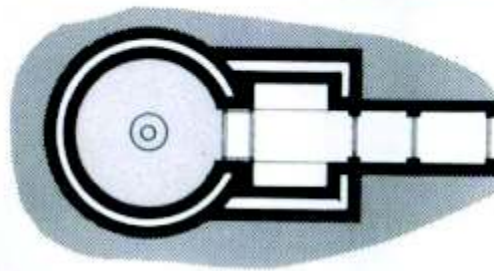


Above: A design for an icehouse at Luffness, Lothian, dated 1847 and entitled 'No 8'. The capacity of the ice chamber is shown as 24 tons.

Below: Section of Heveningham Hall icehouse. The capacity of the ice chamber is shown as 22 tons.

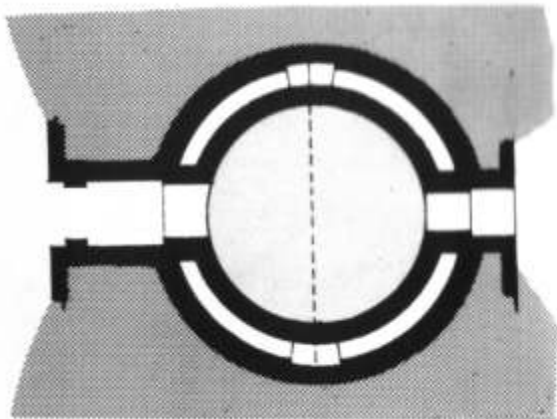


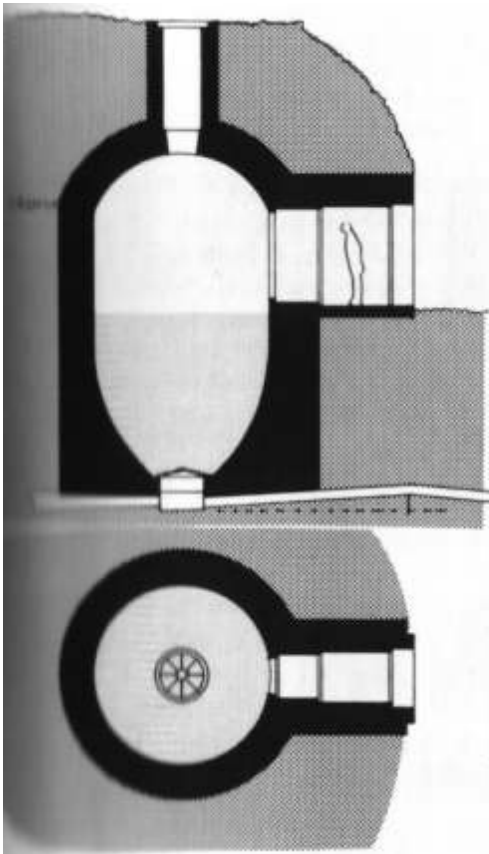
Right: Copy of a figure from Charles MacIntosh's 'Book of the Garden' (1853) showing an icehouse design (section and plan) with a lead pipe and pump allowing chilled water to be raised from a sump for chilling wines or, after filtration, for drinking. Note the five insulating access doors. The capacity of the ice chamber is shown as 7 tons.



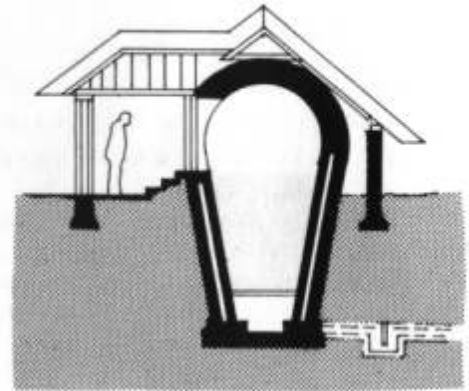
Above: The icehouse chamber at Whim, Borders, is impressive, having been built throughout of finely wrought ashlar, probably around 1740 when Lord Milton laid out the surrounding pleasure grounds. The capacity of the ice chamber is 7 tons. (Section and plan.)

Right: A design of about 1850 by Bailey, the gardener at Nuneham Park, Oxfordshire, for an icehouse with cavity walls (the inner of brick, the outer of rough stone or puddled clay). The lobby doors were to be opened at night and closed in the morning. The capacity of the ice chamber is shown as 33 tons. (Above: section; below: plan — from Charles MacIntosh's 'Book of the Garden'.)

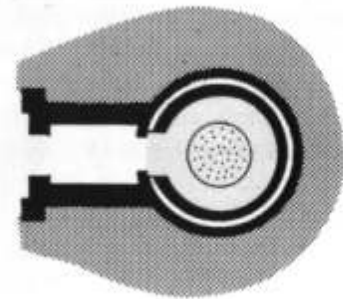


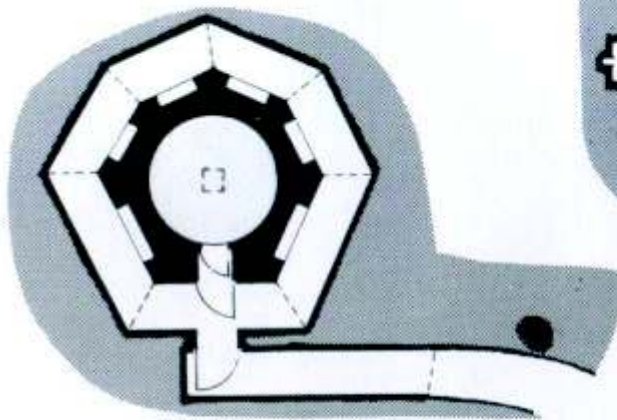


Left: *Proposals for a top-loaded icehouse at Meadowbank, Lothian, dated 1819. Drawings show the entry door set back behind 'rustick rybatts' of dressed freestone for protection against the weather. In the chamber 'every second brick was to be built with the end towards the inside of the icehouse leaving one half built solid into the rubble wall'. The capacity of the ice chamber is shown as 20½ tons. (Section and plan.)*



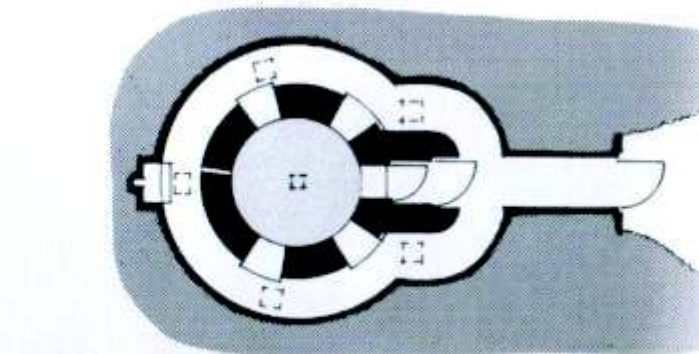
Right: *A design dated 1815 for an icehouse to be built at the Military College. Note the thatched roof and 'perforated stone' over the sump. The capacity of the ice chamber is shown as 5 tons. (Section and plan.)*



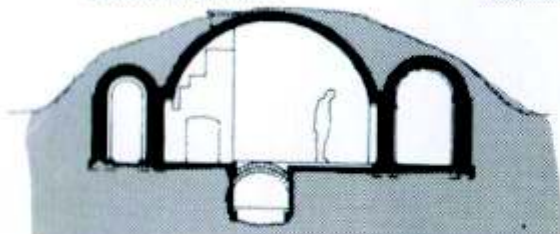
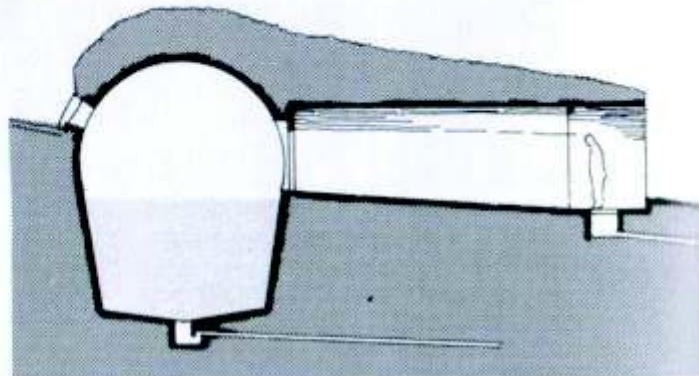


Above: The seven-sided passage at Alva, Central Region, is floored with stone slabs, its brick-vaulted ceiling supported on rubble walls with niches carrying shelves of dressed stone. Two doors give access from passage to chamber.

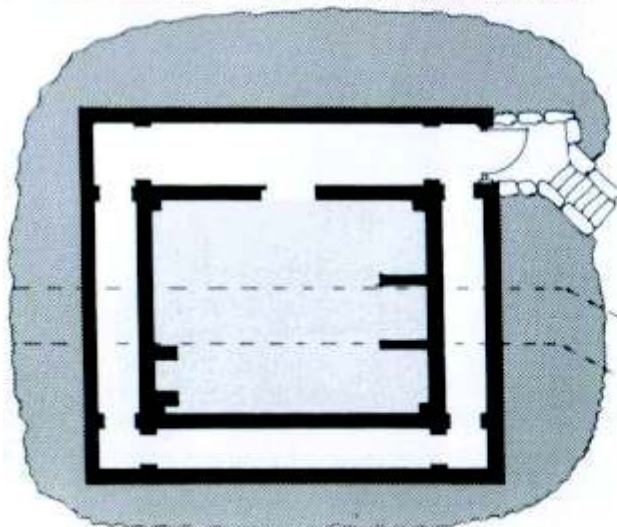
Right: The entry passage slopes uphill at Hanbury Hall, Worcestershire, and is equipped with an additional sump to drain away any water coming from outside. The capacity of the ice chamber is shown as 33 tons.



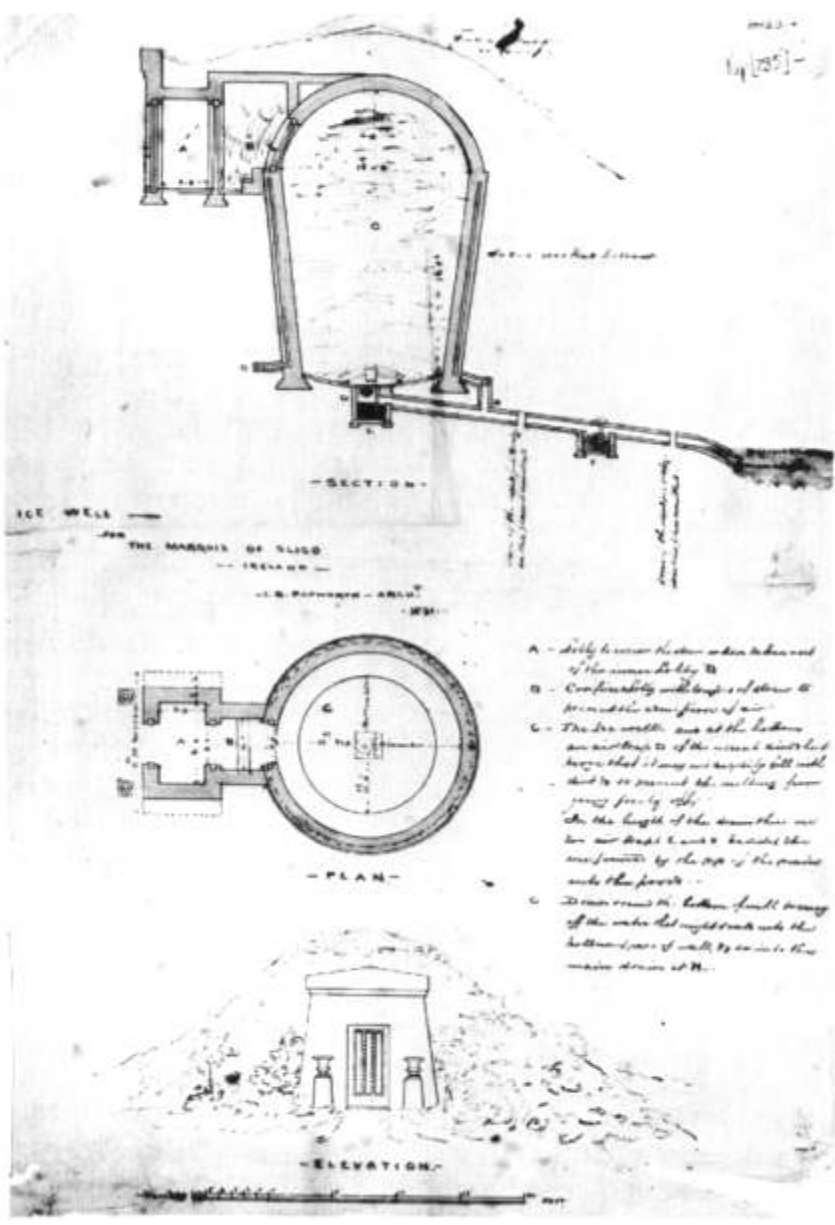
Above: At Moreton Hall, Lothian, the brick-lined icehouse chamber has been altered to install a floor, now gone, and openings have been cut in the walls. That work was probably part of a Second World War conversion into an air-raid shelter.



Left: A barrel-vaulted chamber with surrounding insulating corridor at Attingham, Shropshire (section and plan). In 1856 it was converted to a pumphouse supplying the mansion, and a waterwheel and attendant machinery were installed. (Drawing based on a survey by the National Trust.)



longest recorded stretches to 36 feet (10.9 metres) at Baron Hill, Beaumaris, Gwynedd. Height varies from less than 4 feet (1.2 metres) to over 8 feet (2.4 metres), the roof frequently being formed in vaulted brickwork. In the most elaborate icehouses the passage opens out before reaching the chamber to provide an encircling gallery with stone shelves (as at Alva, Central Region, and Moreton Hall, Lothian) which may perhaps have provided cool room storage.



A design for an icehouse for the Marquis of Sligo, 1831, by John Papworth. The outer lobby was intended to receive insulating straw removed from the inner lobby to gain access. Two decorative urns are positioned beside the entry door.

## 20. Appendix: Brick Catalogue

### 20.1 Introduction

The History of Brick Making is well established and is documented in publications such as:

- a. Hammond, M., 2009, *Bricks and Brickmaking*, Shire, Rickmansworth
- b. Beswick, M., 2001, *Brickmaking in Sussex*, Middleton Press, Midhurst
- c. Davey, H., & Roseff, R., 2007, *Herefordshire Bricks and Brickmakers*, Logaston Press, Little Logaston.
- d. Lynch, G., 1983, *Brickwork: The Historic Development*, Building Conservation Bulletin

Of importance is the quantitative study of brick sizes by Davey & Roseff.

With time the size and regularity of bricks changed, as well as the method of manufacture, means of firing, the type of clay used and the type of bond used to construct walls. These changes allow the date of individual bricks to be determined with a degree of certainty.

The Historic Environment Consultancy is actively researching the typology of bricks because it is so key to dating historic buildings and has built up a database of several hundred bricks principally from Oxfordshire and Berkshire. This work is far from complete.

The following table compares brick sizes with date:

Length		Width		Thickness		Date
8½"	215mm	4"	102.5mm	2½"	65mm	Modern
8½"	215mm	4"	102.5mm	2"	50mm	Modern
8½"	215mm	4"	102.5mm	2⅞"	73mm	Modern
8½"	215mm	4"	102.5mm	3"	75mm	Modern
8½"	215mm	4"	102.5mm	3⅛"	80mm	Modern
8½"	215mm	4"	102.5mm	3¼"	90mm	Modern
9"	230mm	4½"	115mm	3"	75mm	20 <sup>th</sup> C Imperial
				3"	75mm	End of 18 <sup>th</sup> C on <sup>†</sup>
9"	230mm	4½"	115mm	2½"	65mm	1725 on <sup>†</sup>
				2½"	65mm	1571 on <sup>†</sup>
				2"	50mm	15 <sup>th</sup> C
				1½"	38mm	Pre 15 <sup>th</sup> C

Manufacture also changes from being located near to where the brick was to be used, fired in a bonfire or clamp; to firing in kilns which allowed the bricks to be fired to a higher temperature thus making them harder. In 1840 machines were used to mould the bricks which gave them a more regular appearance.

Below, a number of bricks from around the buildings of Sandleford Farm are depicted, with metric scales. The bricks are individually described and dated. They are of a size and form that is consistent with the Victorian Period not the 18<sup>th</sup> century.

A comparative selection of bricks from the local area follows, dimensioned where possible. These bricks date from the 15<sup>th</sup> / 16<sup>th</sup> centuries to the modern period.

## 20.2 Bricks from Sandford Farm



Figure 28: Detail of west wall, units 4 and 7 (not to scale)

Brick locations are marked in yellow, with joins in brickwork marked in red.

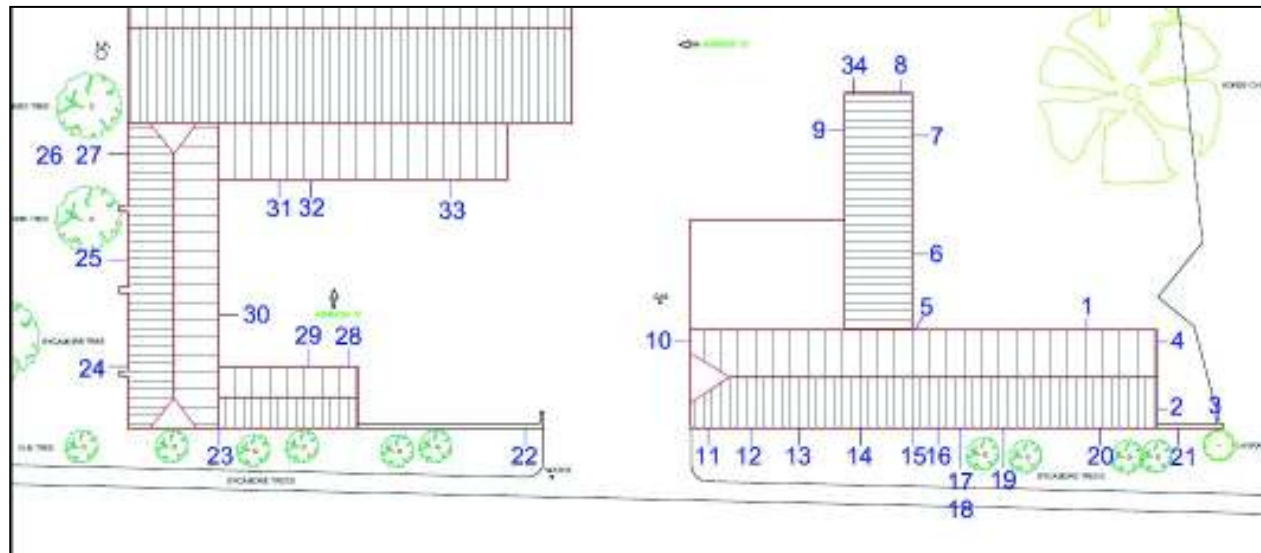
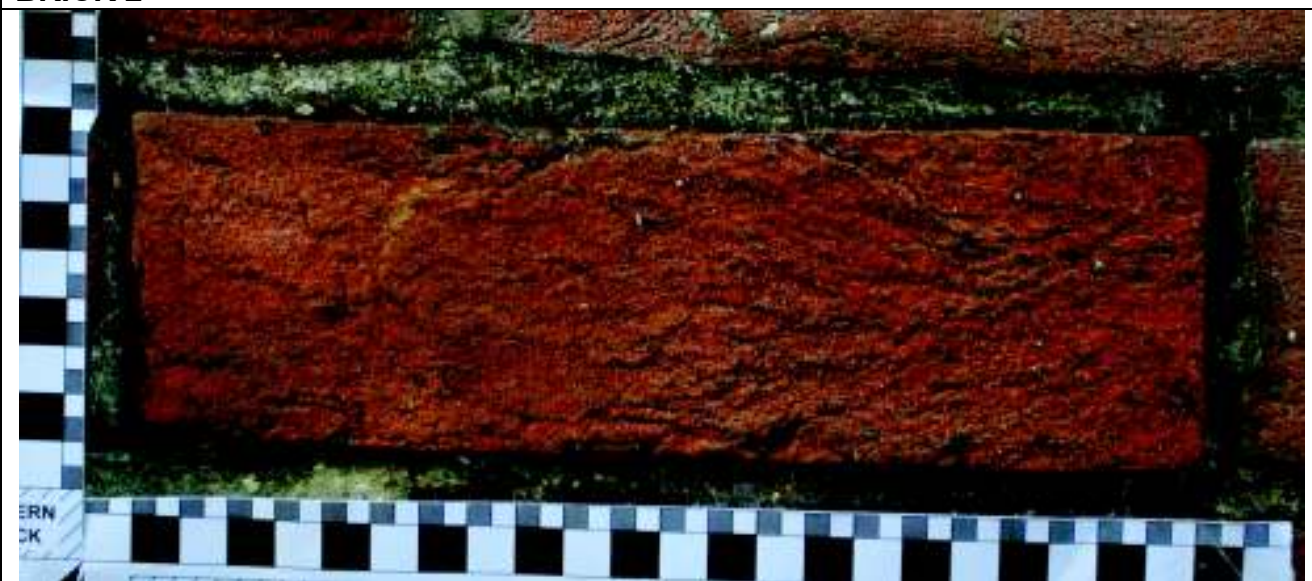


Figure 29: Location of bricks (not to scale)

**BRICK 1**

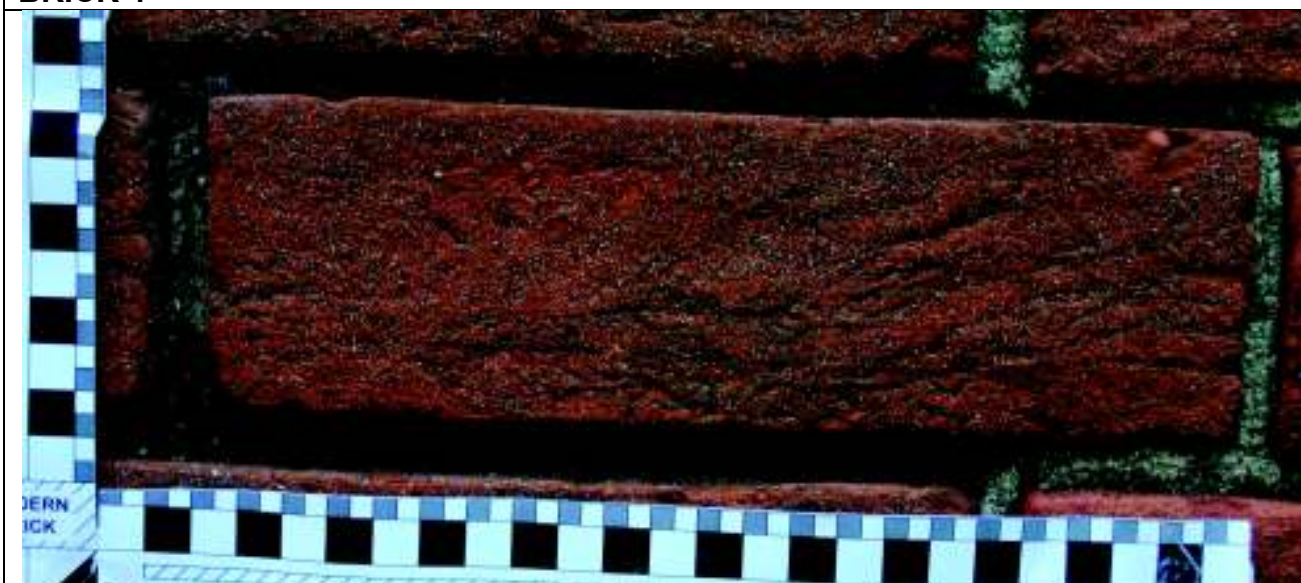
<b>Location</b>	Eastern face, unit 7		
<b>Description</b>	Handmade / wirecut red brick		
<b>Length</b>	215mm	<b>Depth</b>	70mm
<b>Bond</b>	Variation on Flemish	<b>Mortar</b>	Lime
<b>Date</b>	Mid-late 19th		

**BRICK 2**

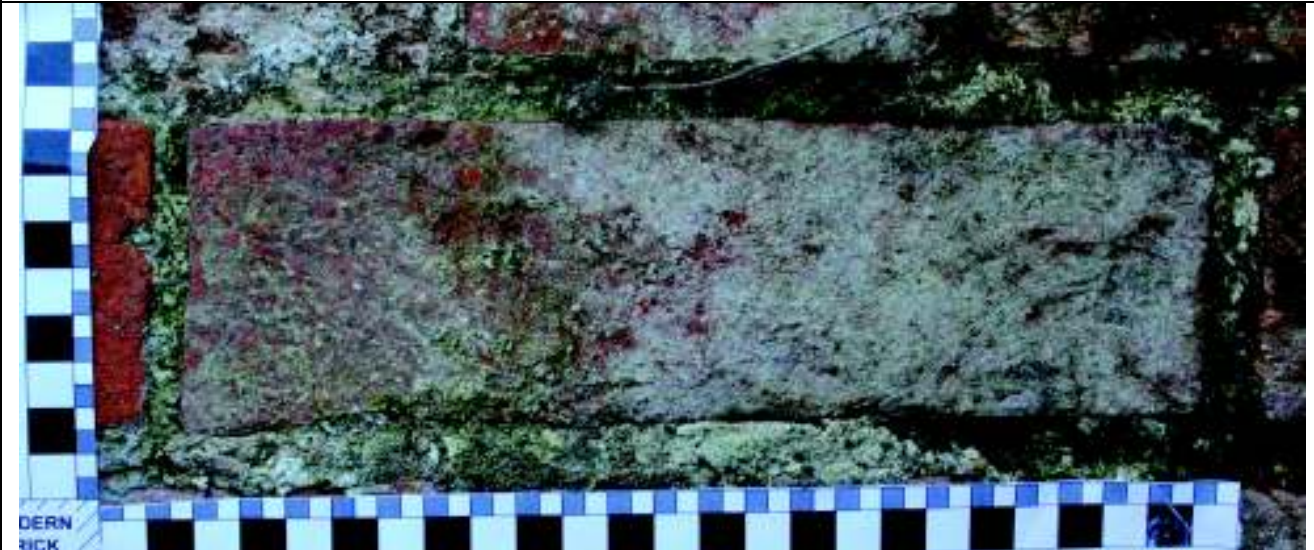
<b>Location</b>	Western end, southern wall, unit 7		
<b>Description</b>	Regular red brick, few inclusions, handmade / wirecut		
<b>Length</b>	220mm	<b>Depth</b>	65mm
<b>Bond</b>	Variation on Flemish	<b>Mortar</b>	Lime
<b>Date</b>	Late 19 <sup>th</sup> – early 20 <sup>th</sup>		

**BRICK 3**

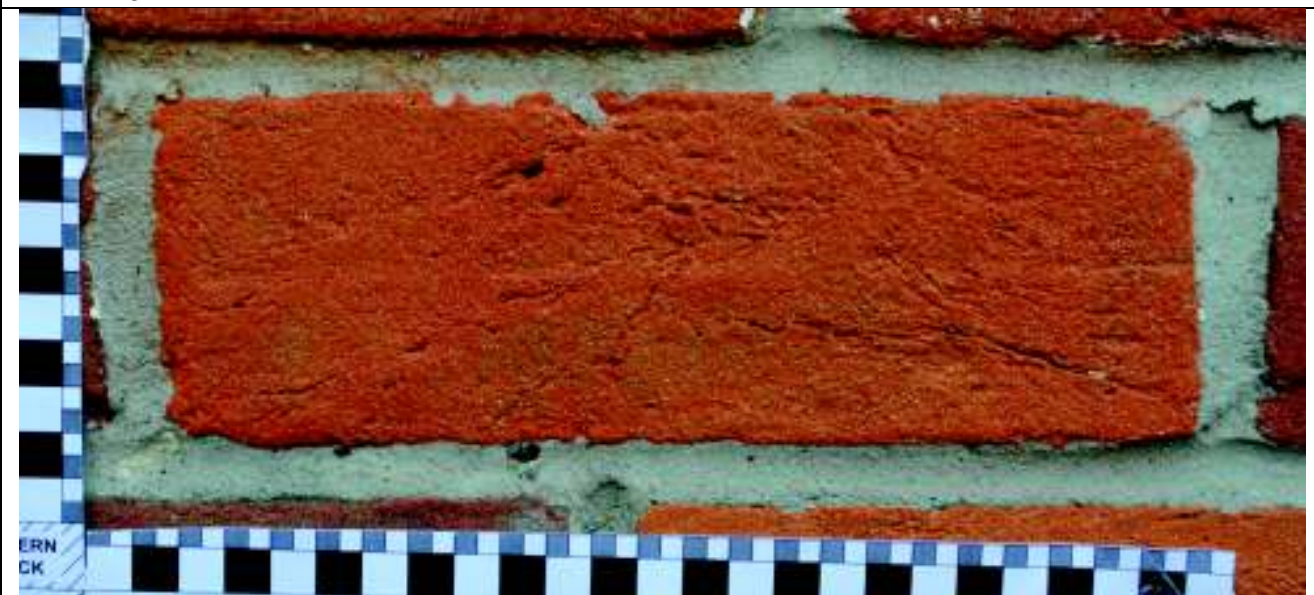
<b>Location</b>	East side of boundary wall to south of unit 7		
<b>Description</b>	Handmade red brick, some traces of render, possibly reused		
<b>Length</b>	220mm	<b>Depth</b>	65mm
<b>Bond</b>	Flemish	<b>Mortar</b>	Lime
<b>Date</b>	19th		

**BRICK 4**

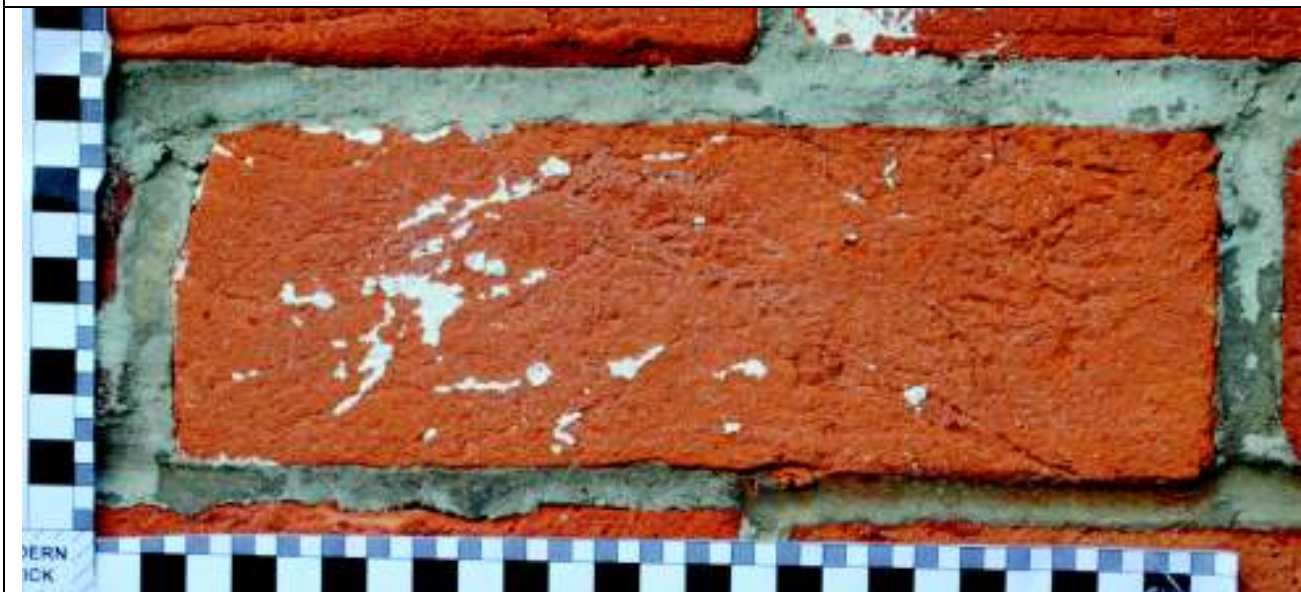
<b>Location</b>	Eastern end, southern wall, unit 7		
<b>Description</b>	Regular handmade / wirecut red brick		
<b>Length</b>	225mm	<b>Depth</b>	65
<b>Bond</b>	Flemish	<b>Mortar</b>	Lime, degraded
<b>Date</b>	19th		

**BRICK 5**

<b>Location</b>	Eastern wall, unit 7, at junction between units 6 and 7		
<b>Description</b>	Regular machine-made red brick, some white staining (possible efflorescence caused by leaking gutter above)		
<b>Length</b>	225	<b>Depth</b>	65
<b>Bond</b>	Flemish	<b>Mortar</b>	Lime
<b>Date</b>	Late 19 <sup>th</sup> -mid 20 <sup>th</sup>		

**BRICK 6**

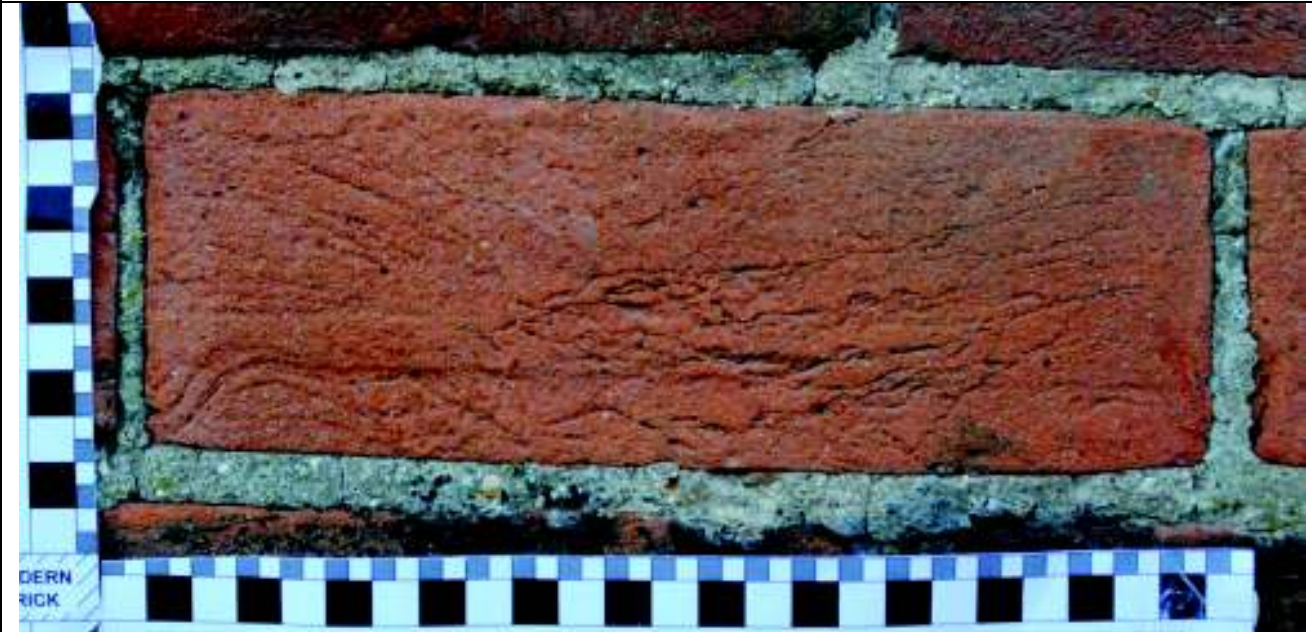
<b>Location</b>	Southern wall, unit 6, west of centre		
<b>Description</b>	Regular machine-made red brick		
<b>Length</b>	225mm	<b>Depth</b>	75mm
<b>Bond</b>	Stretcher	<b>Mortar</b>	Cement
<b>Date</b>	20th		

**BRICK 7**

<b>Location</b>	Southern wall, unit 6, east of centre		
<b>Description</b>	Regular machine-made red brick		
<b>Length</b>	225mm	<b>Depth</b>	75mm
<b>Bond</b>	Stretcher	<b>Mortar</b>	Cement
<b>Date</b>	20 <sup>th</sup>		

**BRICK 8**

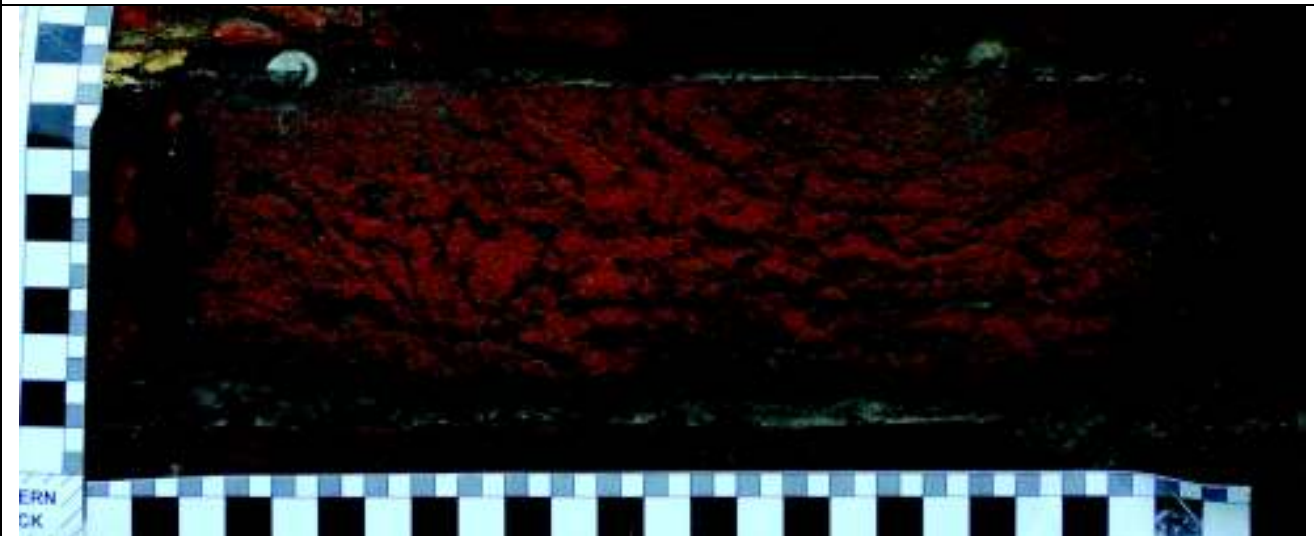
<b>Location</b>	Eastern wall, unit 6, southern end		
<b>Description</b>	Regular machine-made red brick, some cement repointing		
<b>Length</b>	225mm	<b>Depth</b>	75mm
<b>Bond</b>	Variation on Flemish	<b>Mortar</b>	Lime / cement
<b>Date</b>	Early – mid 20th		

**BRICK 9**

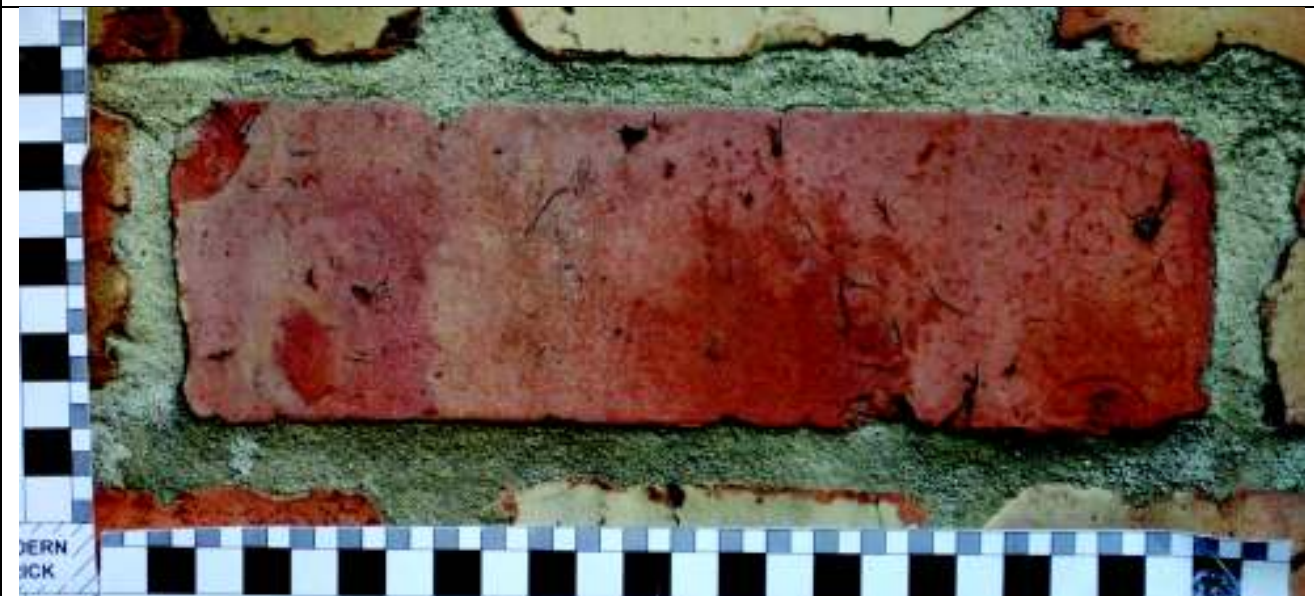
<b>Location</b>	Northern wall, unit 6		
<b>Description</b>	Uniform red brick, possibly wirecut		
<b>Length</b>	230mm	<b>Depth</b>	75mm
<b>Bond</b>	English	<b>Mortar</b>	Lime
<b>Date</b>	Late 19 <sup>th</sup> – mid 20 <sup>th</sup>		

**BRICK 10**

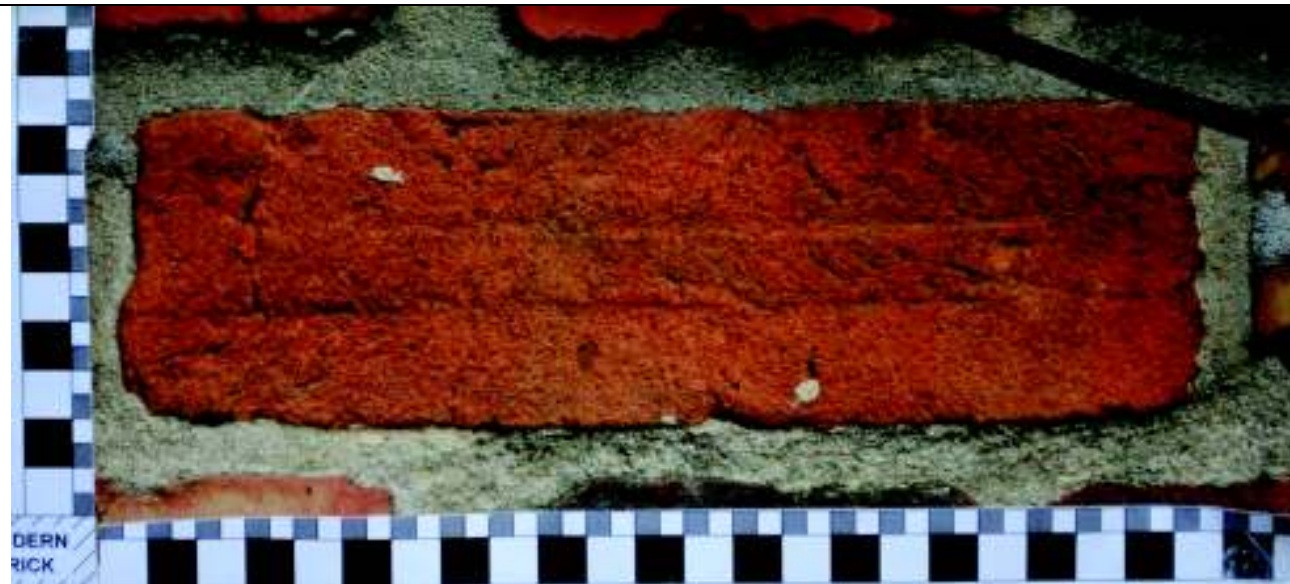
<b>Location</b>	East of northern door, unit 4		
<b>Description</b>	Red brick, possibly handmade / wirecut		
<b>Length</b>	215mm	<b>Depth</b>	65mm
<b>Bond</b>	Flemish	<b>Mortar</b>	Lime
<b>Date</b>	19 <sup>th</sup> - 20 <sup>th</sup>		

**BRICK 11**

<b>Location</b>	Western wall, unit 4, northern end		
<b>Description</b>	Hand-made red brick, black staining (?traffic fumes)		
<b>Length</b>	220mm	<b>Depth</b>	65mm
<b>Bond</b>	Mixed	<b>Mortar</b>	Lime, degraded
<b>Date</b>	Late 19 <sup>th</sup> – mid 20 <sup>th</sup>		

**BRICK 12**

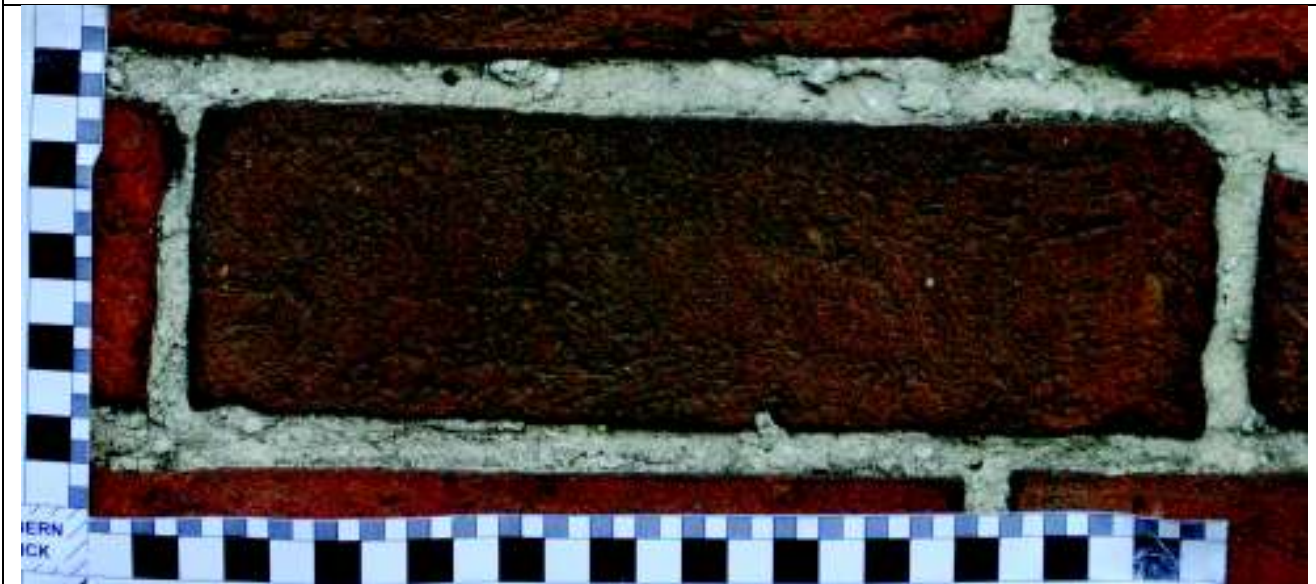
<b>Location</b>	Mid western wall, unit 4		
<b>Description</b>	Modern machine-made brick, somewhat uneven, possibly reused		
<b>Length</b>	220mm	<b>Depth</b>	67mm
<b>Bond</b>	Flemish	<b>Mortar</b>	Cement
<b>Date</b>	20 <sup>th</sup>		

**BRICK 13**

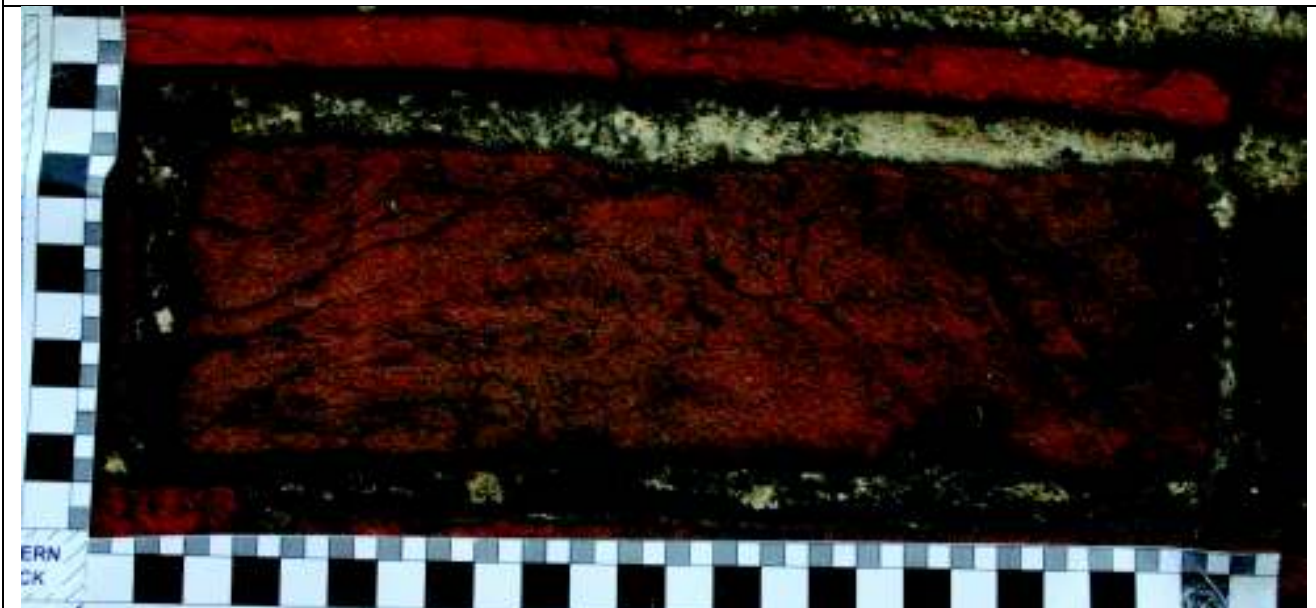
<b>Location</b>	Mid western wall, unit 4		
<b>Description</b>	Red wirecut / machine-made brick, possibly reused as located within other bricks as brick 12 above		
<b>Length</b>	220mm	<b>Depth</b>	65mm
<b>Bond</b>	Flemish	<b>Mortar</b>	Cement
<b>Date</b>	Late 19 <sup>th</sup> – 20 <sup>th</sup> , laid in 20 <sup>th</sup>		

**BRICK 14**

<b>Location</b>	Southern end, western wall, unit 4		
<b>Description</b>	Handmade / wirecut red brick, missing area to lower face may indicate reuse		
<b>Length</b>	225mm	<b>Depth</b>	65mm
<b>Bond</b>	Flemish	<b>Mortar</b>	Cement
<b>Date</b>	Early 20 <sup>th</sup>		

**BRICK 15**

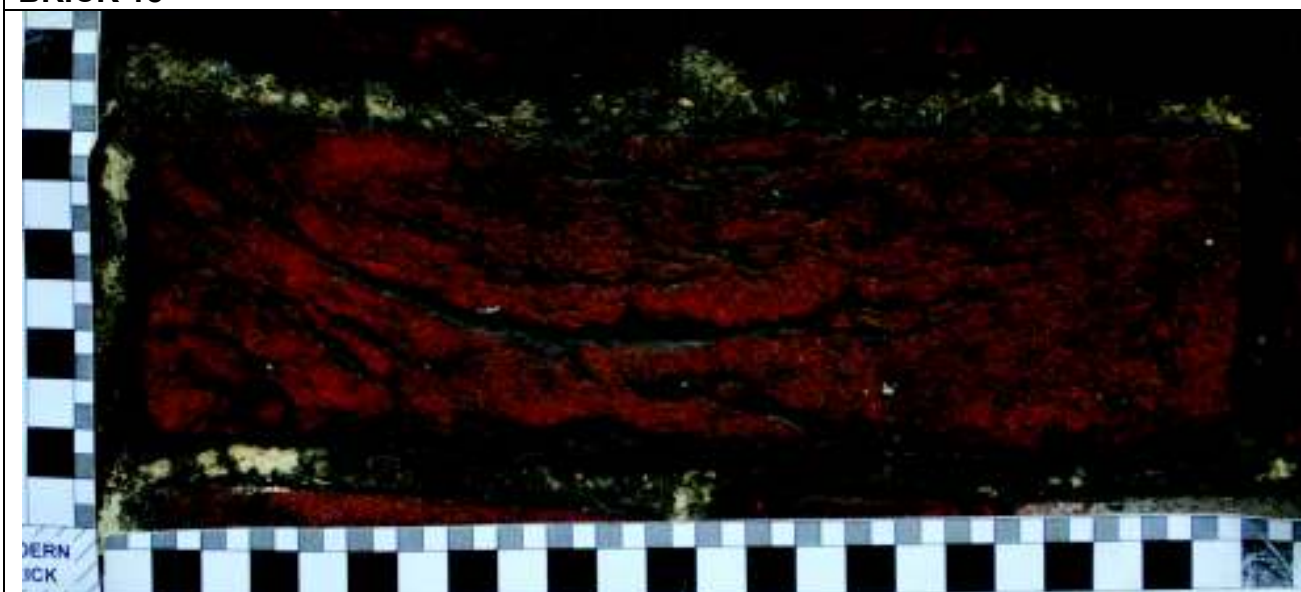
<b>Location</b>	Northern end of western wall, unit 7		
<b>Description</b>	Regular ?wirecut red brick		
<b>Length</b>	220mm	<b>Depth</b>	70mm
<b>Bond</b>	Flemish	<b>Mortar</b>	Lime
<b>Date</b>	Late 19 <sup>th</sup> – early 20 <sup>th</sup>		

**BRICK 16**

<b>Location</b>	Northern part, western wall of unit 7		
<b>Description</b>	Hand-made red brick, some blackening (traffic)		
<b>Length</b>	215mm	<b>Depth</b>	65mm
<b>Bond</b>	Flemish	<b>Mortar</b>	Lime
<b>Date</b>	Late 19 <sup>th</sup>		

**BRICK 17**

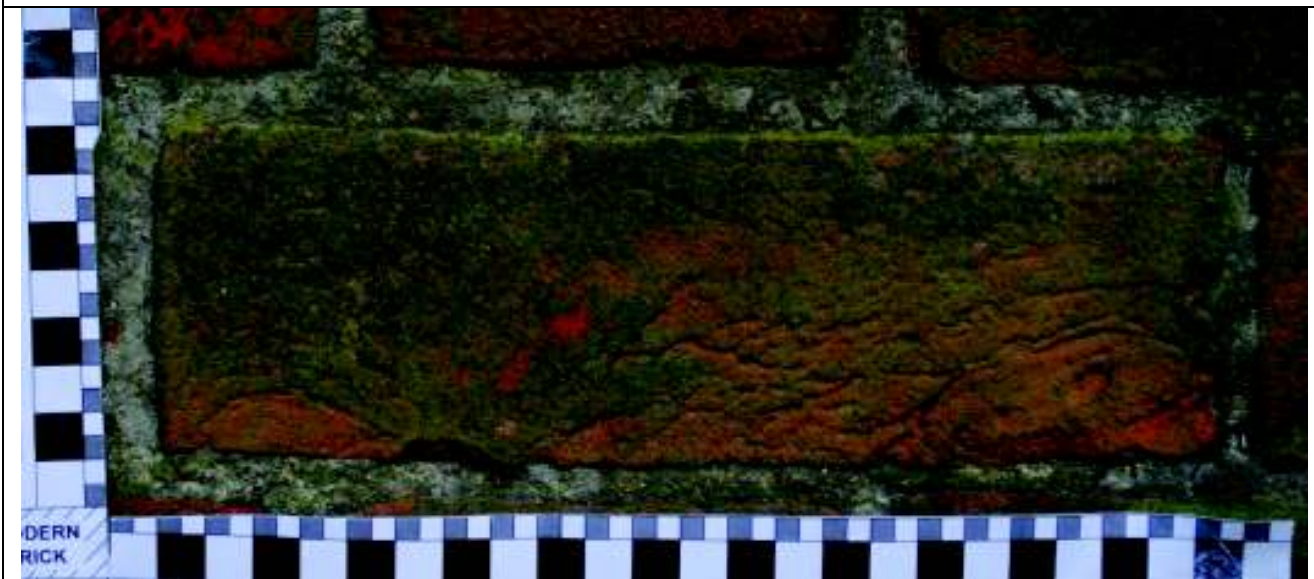
<b>Location</b>	Mid west wall, unit 7, north of join in brickwork		
<b>Description</b>	Handmade / wirecut red brick, heavily blackened (traffic)		
<b>Length</b>	225mm	<b>Depth</b>	70mm
<b>Bond</b>	Flemish	<b>Mortar</b>	Lime
<b>Date</b>	Late 19 <sup>th</sup> - early 20 <sup>th</sup> century		

**BRICK 18**

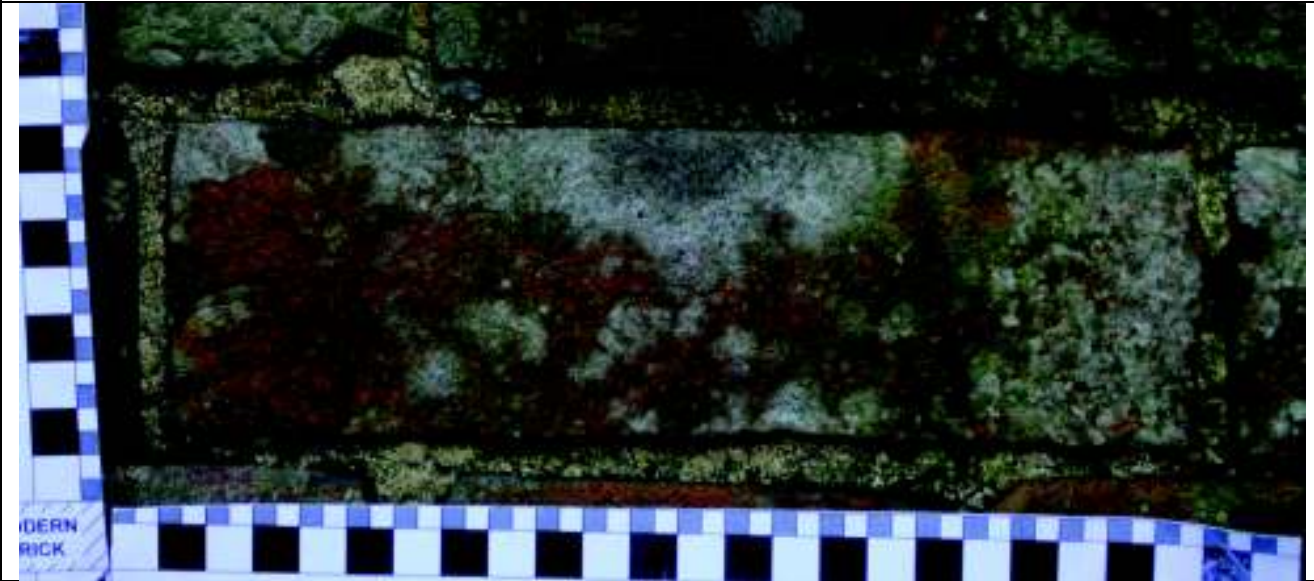
<b>Location</b>	Mid west wall, unit 7, south of join in brickwork		
<b>Description</b>	Handmade red brick with some blackening (traffic)		
<b>Length</b>	225mm	<b>Depth</b>	65mm
<b>Bond</b>	English	<b>Mortar</b>	Lime
<b>Date</b>	19 <sup>th</sup>		

**BRICK 19**

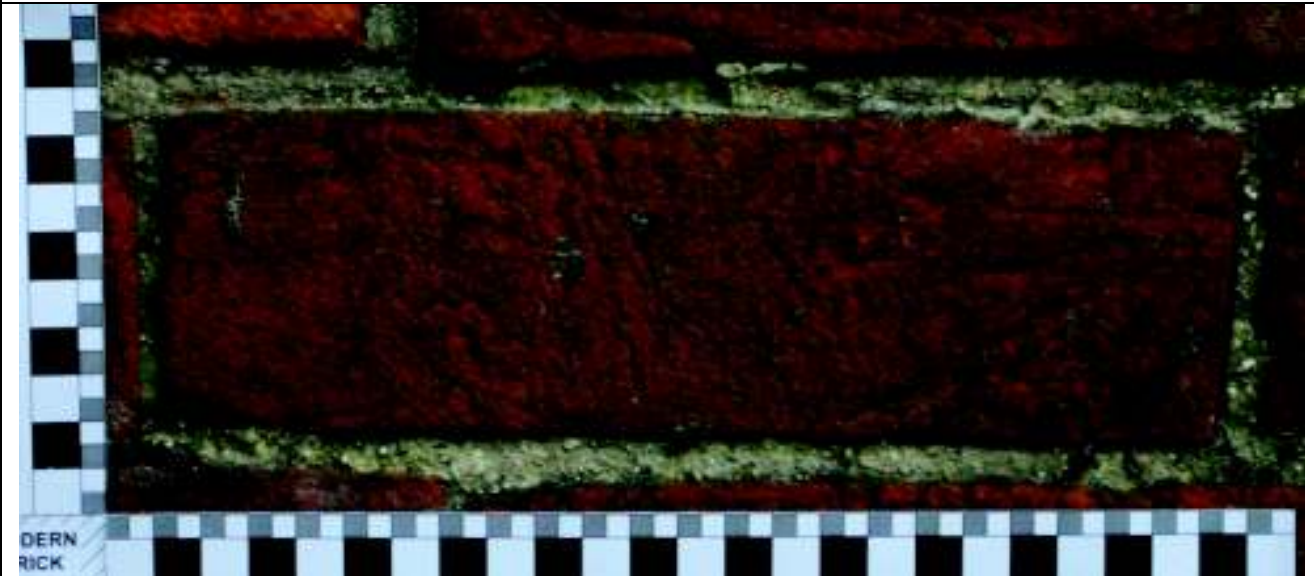
<b>Location</b>	Mid western wall, unit 7		
<b>Description</b>	Regular ?wirecut red brick		
<b>Length</b>	220mm	<b>Depth</b>	68mm
<b>Bond</b>	English	<b>Mortar</b>	Lime
<b>Date</b>	Late 19 <sup>th</sup> – early 20 <sup>th</sup>		

**BRICK 20**

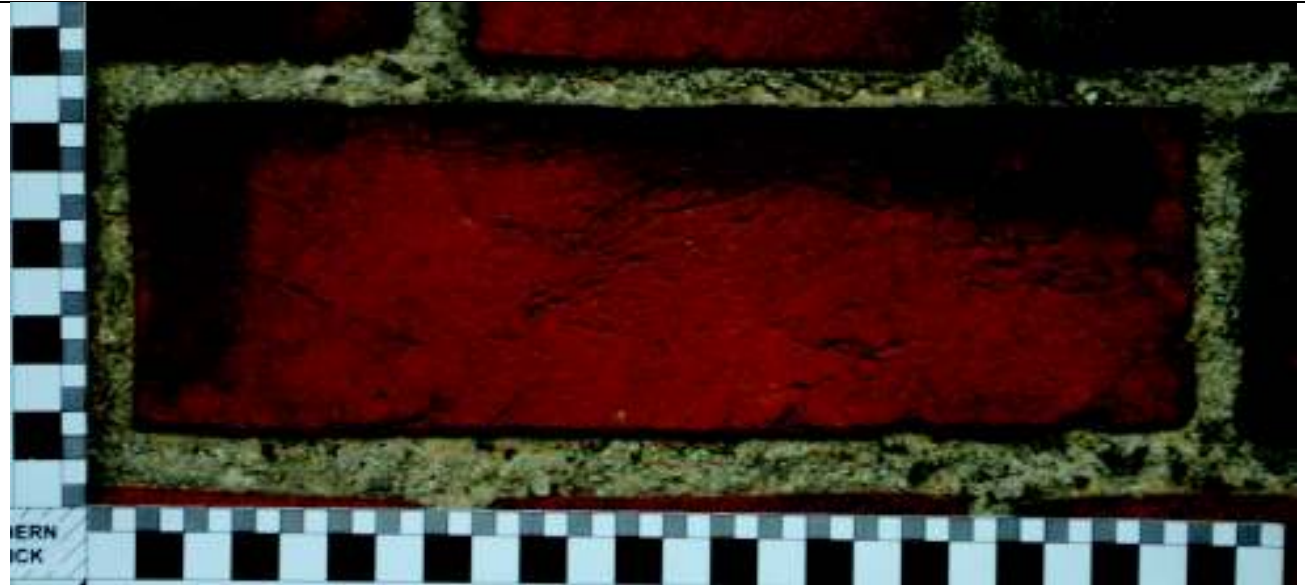
<b>Location</b>	Southern end, western wall, unit 7		
<b>Description</b>	Regular machine-made / wirecut red brick		
<b>Length</b>	225mm	<b>Depth</b>	70mm
<b>Bond</b>	English	<b>Mortar</b>	Cement
<b>Date</b>	Early 20 <sup>th</sup>		

**BRICK 21**

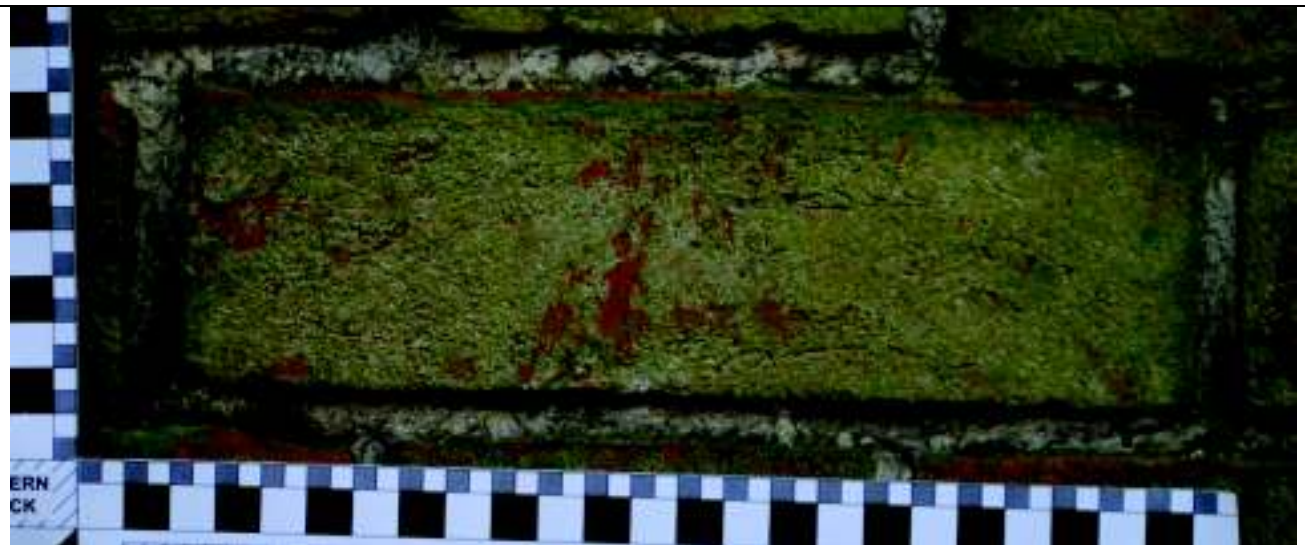
<b>Location</b>	Western face, boundary wall to south of unit 7		
<b>Description</b>	Regular ?wirecut red brick		
<b>Length</b>	215mm	<b>Depth</b>	67mm
<b>Bond</b>	Flemish	<b>Mortar</b>	Lime
<b>Date</b>	Late 19 <sup>th</sup> – early 20 <sup>th</sup>		

**BRICK 22**

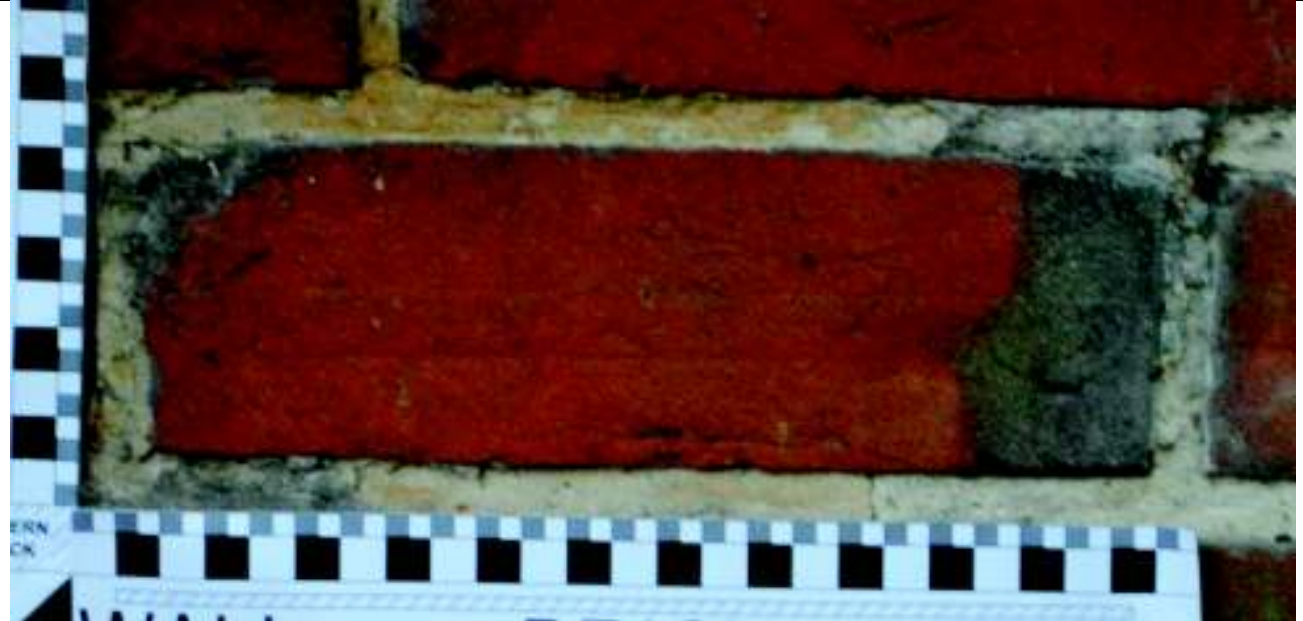
<b>Location</b>	Boundary wall south of unit 1		
<b>Description</b>	Regular machine-made / wirecut red brick		
<b>Length</b>	220mm	<b>Depth</b>	65mm
<b>Bond</b>	Flemish Garden Wall	<b>Mortar</b>	Lime
<b>Date</b>	Late 19 <sup>th</sup> – 20 <sup>th</sup>		

**BRICK 23**

<b>Location</b>	Western wall, unit 1		
<b>Description</b>	Uniform red brick, wirecut / machine made		
<b>Length</b>	223mm	<b>Depth</b>	67mm
<b>Bond</b>	Flemish Garden Wall	<b>Mortar</b>	Lime
<b>Date</b>	Late 19 <sup>th</sup> – 20 <sup>th</sup>		

**BRICK 24**

<b>Location</b>	North wall of unit 1		
<b>Description</b>	Regular machine-made / wirecut red brick		
<b>Length</b>	220mm	<b>Depth</b>	65mm
<b>Bond</b>	Flemish Garden Wall	<b>Mortar</b>	Lime
<b>Date</b>	Late 19 <sup>th</sup> – 20 <sup>th</sup>		

**BRICK 25**

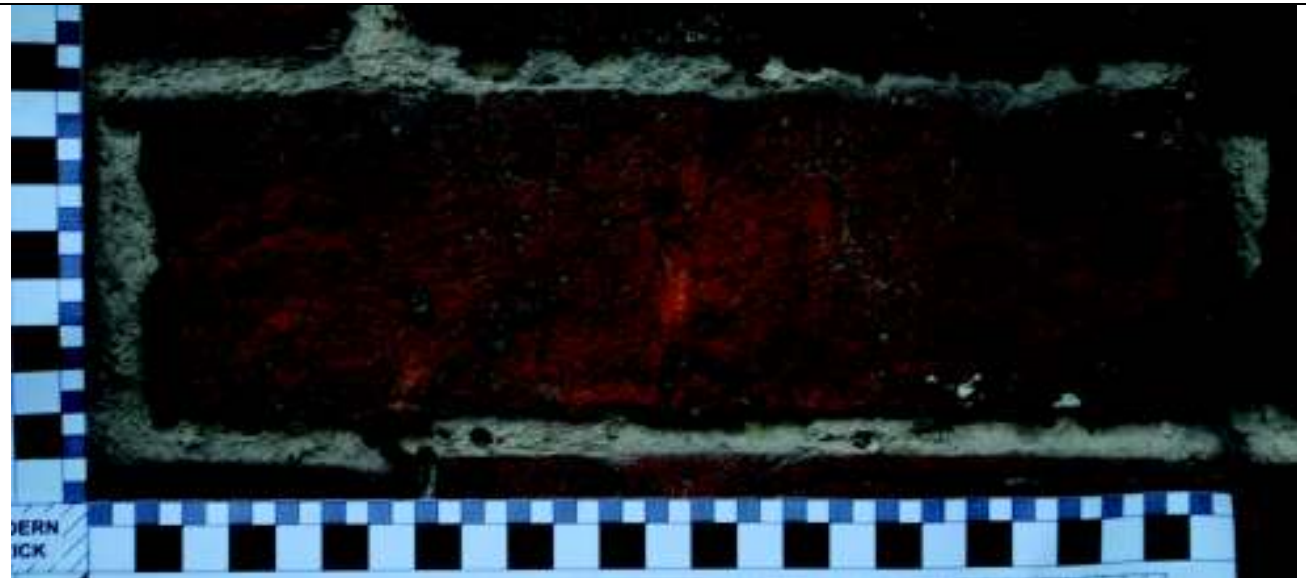
<b>Location</b>	Northern wall, unit 2		
<b>Description</b>	Even red brick with some vitrification, ?wirecut		
<b>Length</b>	225mm	<b>Depth</b>	70mm
<b>Bond</b>	Flemish Garden Wall	<b>Mortar</b>	Lime
<b>Date</b>	19 <sup>th</sup> – early 20 <sup>th</sup>		

**BRICK 26**

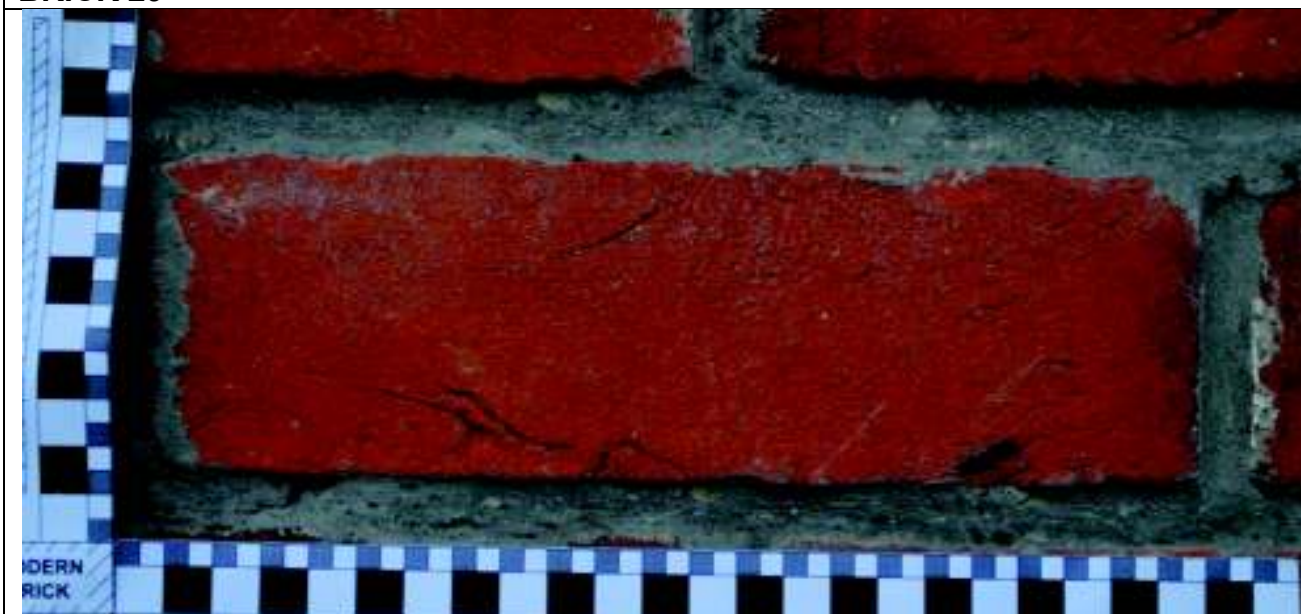
<b>Location</b>	North elevation, historic section of unit 2		
<b>Description</b>	Uniform red brick, wirecut / machine-made		
<b>Length</b>	225mm	<b>Depth</b>	70mm
<b>Bond</b>	Flemish Garden Wall	<b>Mortar</b>	Lime
<b>Date</b>	19 <sup>th</sup> – early 20 <sup>th</sup>		

**BRICK 27**

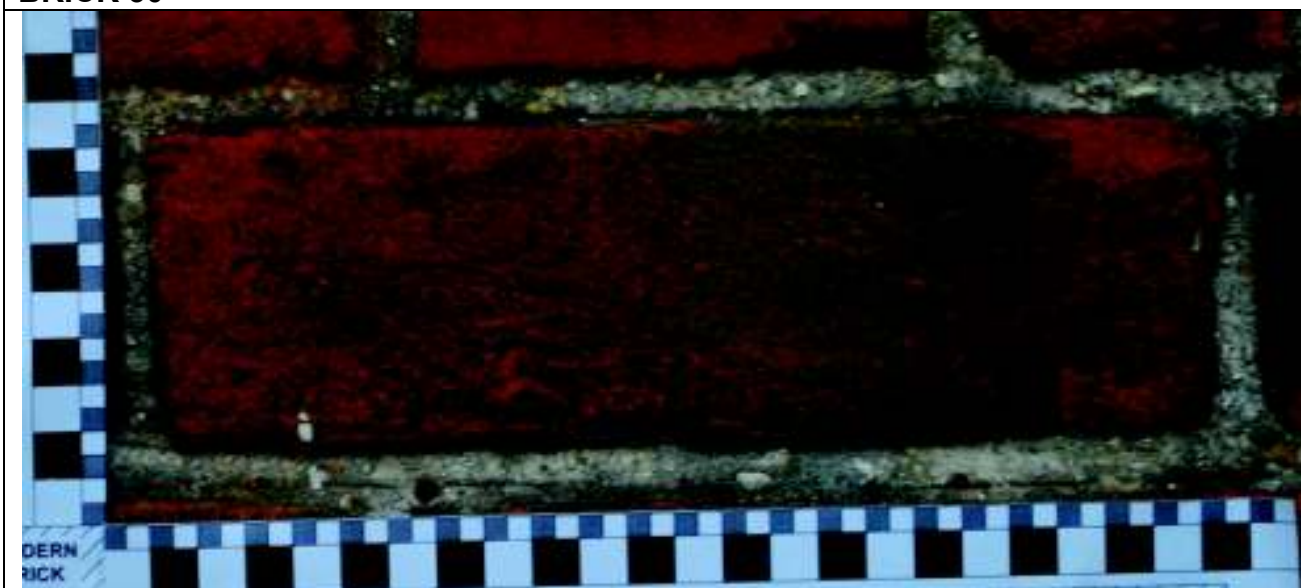
<b>Location</b>	North elevation, historic section of unit 2, blocked window		
<b>Description</b>	Uniform red brick, possibly reused in blocking window		
<b>Length</b>	220mm	<b>Depth</b>	75mm
<b>Bond</b>	Various	<b>Mortar</b>	Cement
<b>Date</b>	Late 19 <sup>th</sup> - 20 <sup>th</sup>		

**BRICK 28**

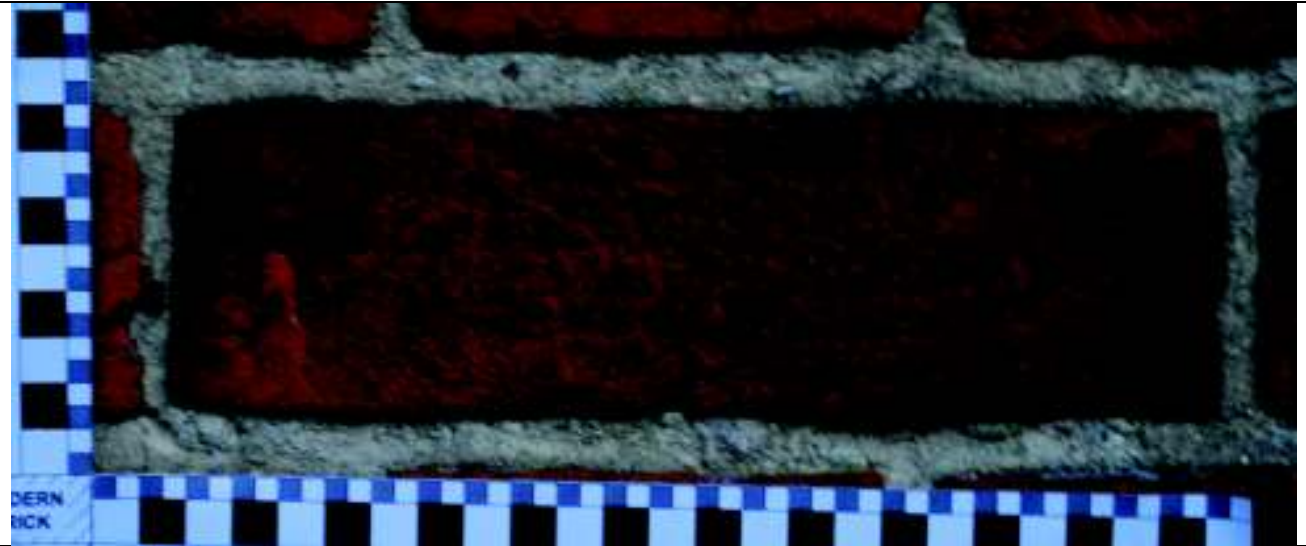
<b>Location</b>	East face, unit 1		
<b>Description</b>	Uniform red brick, wirecut / machine made		
<b>Length</b>	230mm	<b>Depth</b>	70mm
<b>Bond</b>	Flemish Garden Wall	<b>Mortar</b>	Lime, degraded
<b>Date</b>	19th		

**BRICK 29**

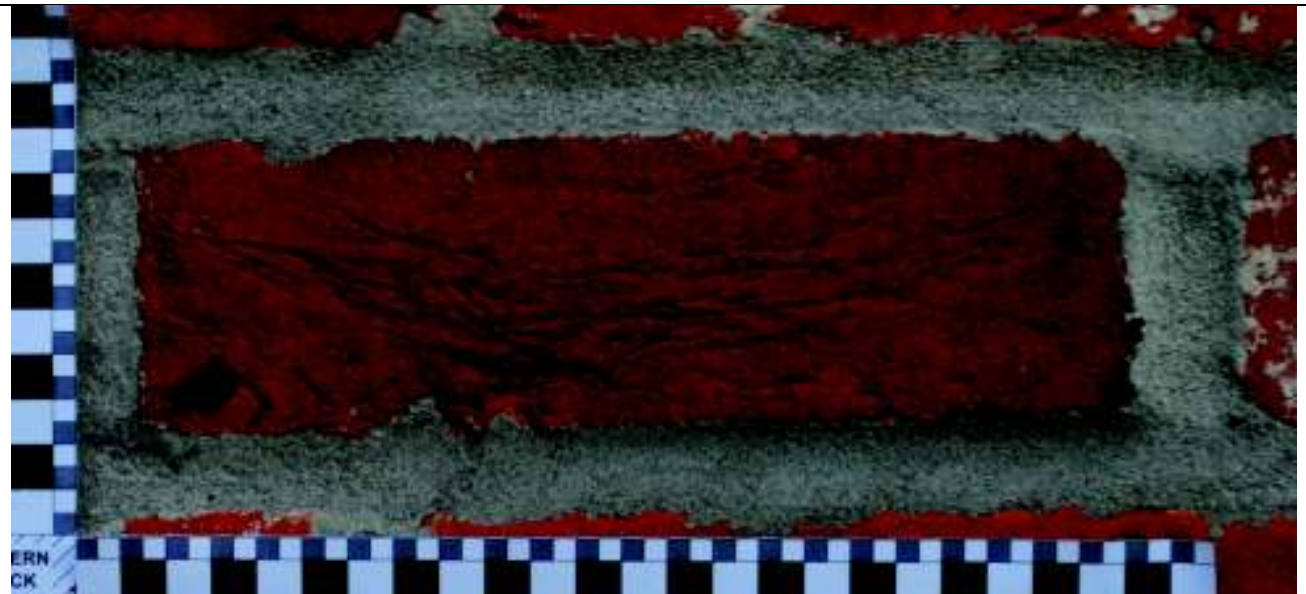
<b>Location</b>	Blocked doorway, east wall, unit 1		
<b>Description</b>	Modern machine-made red brick		
<b>Length</b>	220mm	<b>Depth</b>	65mm
<b>Bond</b>	Stretcher	<b>Mortar</b>	Cement
<b>Date</b>	20 <sup>th</sup> - Modern		

**BRICK 30**

<b>Location</b>	South wall, unit 2		
<b>Description</b>	Uniform red brick, wirecut / machine-made		
<b>Length</b>	220mm	<b>Depth</b>	65mm
<b>Bond</b>	Flemish Garden Wall	<b>Mortar</b>	Lime
<b>Date</b>	Late 19 <sup>th</sup> – 20 <sup>th</sup>		

**BRICK 31**

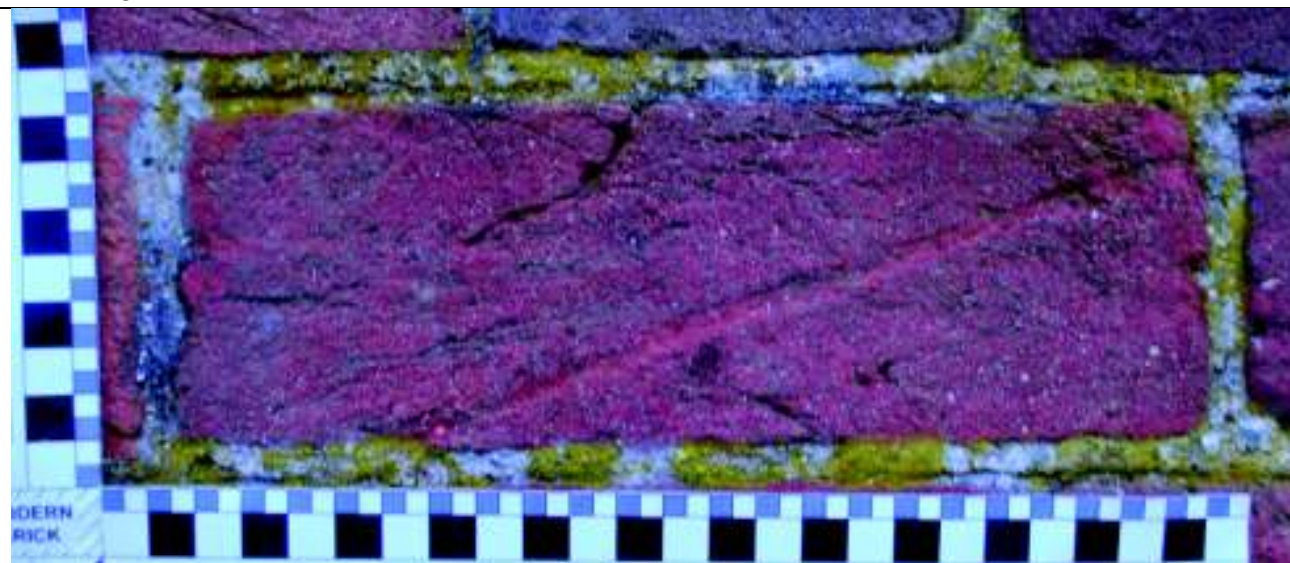
<b>Location</b>	Western wall, unit 3		
<b>Description</b>	Uniform wirecut / machine-made red brick		
<b>Length</b>	225mm	<b>Depth</b>	65mm
<b>Bond</b>	Flemish Garden Wall	<b>Mortar</b>	Lime
<b>Date</b>	Late 19 <sup>th</sup> – 20 <sup>th</sup>		

**BRICK 32**

<b>Location</b>	West wall, unit 3		
<b>Description</b>	Modern machine-made red brick		
<b>Length</b>	220mm	<b>Depth</b>	65mm
<b>Bond</b>	Various	<b>Mortar</b>	Cement
<b>Date</b>	Modern		

**BRICK 33**





<b>Location</b>	Western wall, building 3 south		
<b>Description</b>	Modern machine-made brick		
<b>Length</b>	210mm	<b>Depth</b>	60mm
<b>Bond</b>	Stretcher	<b>Mortar</b>	Cement
<b>Date</b>	Modern		

**BRICK 34**

<b>Location</b>	Eastern wall, unit 6, northern end		
<b>Description</b>	Uniform handmade / wirecut red brick		
<b>Length</b>	225mm	<b>Depth</b>	70mm
<b>Bond</b>	Various	<b>Mortar</b>	Lime
<b>Date</b>	19 <sup>th</sup> – 20 <sup>th</sup>		

### 20.3 Comparative Bricks

	<p><b>15<sup>th</sup>-17<sup>th</sup> century brick</b> from College Farmhouse, South Stoke, South Oxfordshire</p> <p>230mm x 45mm</p> <p>Hand made thin red brick, dated via listing description to 17<sup>th</sup> century, although size suggests 15<sup>th</sup> century.</p>
	<p><b>16<sup>th</sup> century brick</b> from Old House Farmhouse, Shinfield, Berkshire</p> <p>240mm x 50mm</p> <p>Hand made red brick, uneven, with inclusions, dated via building phasing and size of brick</p>
	<p><b>Late 16<sup>th</sup> century brick</b>, Shaw House, Newbury, Berkshire</p> <p>Very uneven soft red hand made brick, dated to 1581 – the construction date of the building</p>
	<p><b>17<sup>th</sup>-18<sup>th</sup> century brick</b> from Jasmine Cottage, Purley, Berkshire</p> <p>220mm x 60mm</p> <p>Hand made red brick with uneven vitrification, suggesting clamp firing, dated via brick size</p>

	<p><b>1840-1881 brick</b> from <i>Gidley Farm, Peasemore, Berkshire</i></p> <p>215mm x 70mm</p> <p><i>Regular ?machine made soft red brick, building dated via map evidence</i></p>
	<p><b>Victorian brick</b> from <i>Old House Farmhouse, Shinfield, Berkshire</i></p> <p>230mm x 70mm</p> <p><i>Medium-soft red wirecut brick, few inclusions, dated via building phasing</i></p>
	<p><b>19<sup>th</sup> century brick</b>, <i>Church of St Michael, Enborne, Berkshire</i></p> <p><i>Hand-made soft, uneven red brick, dated via listing description of church</i></p>
	<p><b>Modern brick</b> from <i>Three Swans Hotel, Hungerford, Berkshire</i></p> <p>215mm x 65mm</p> <p><i>Uniform machine-made red brick, dated from size, condition and presence of cement mortar</i></p>